

MULHOLLAND SCENIC PARKWAY SPECIFIC PLAN

APPLICATION FORM

Los Angeles Department of City Planning

ZI 1224, Ord. Number: 167,943

FOR DEPARTMENTAL USE ONLY

Application OK for filing on _____ by _____

Size (total existing) _____ sq. ft. (total proposed) _____ sq. ft.

Demolition _____ sq. ft. Addition _____ sq. ft.

Garage _____ sq. ft. Car(s) Attached/Detached _____

Lot size _____ sq. ft. FAR _____ Height _____ Council District _____

Zone: _____ Baseline Hillside Applies Y/N _____ Girard Tract _____

Inner / Outer / Institutional _____ Upslope / Downslope _____ Visible / Non-Visible _____

Application Type:

- ☐ Preliminary Design Review
- ☐ Design Review / Project Permit Compliance
- ☐ Continued Design Review
- ☐ Design Review / Project Permit Compliance Modification
- ☐ Project Permit Adjustment

Project Type:

- ☐ New Construction
- ☐ Addition
- ☐ Remodel
- ☐ Other: _____

Project Address: 7766 Torreyson Drive LA, 90046

Assessor Parcel Number: 5570-014-006

Proposed Project Description: (describe in detail, including ALL proposed work and dimensions)

NEW 2-STORY, 2531 sf SINGLE FAMILY DWELLING WITH ATTACHED 2-CAR GARAGE OVER BASEMENT ON A 22,581 SF VACANT HILLSIDE PARCEL.

Representative(s)

Name: RANDALL AKERS

Address: 19425 SOLEDAD CANYON

SANTA CLARITA CA 91351

Telephone: 661-251-0656

Fax: X

Email: factarch@gmail.com

Applicant(s) / Property Owner(s)

Name: Mark Haddaway

Address: 7764 Torreyson Drive

Los Angeles, 90046

Telephone: 661-251-0565

Fax: X

Email: factarch@gmail.com

1. **Property Description:** # of Existing lots: 1 # of Proposed lots: 1 Total Lot Area: 22,581 sq. ft.
2. **Property Location:** Is the project in the following? (check all that apply)
- ☒ Inner Corridor (up to 500 feet from the Mulholland right-of-way),
- ☒ Within 100 feet of Mulholland
- ☐ Institutional Corridor
- ☐ Outer Corridor (from 500 to 2,640 feet from the Mulholland right-of-way)
- ☐ Girard Tract (see the ZIMAS parcel profile, S-5)
- ☒ Hillside Ordinance (see <http://zimas.lacity.org>)
3. **Property Orientation:**
- Note: In the event that a property contains elevations that are both upslope and downslope from Mulholland Drive right-of-way, the highest elevation of the building pad should be compared to the lowest elevation of the Mulholland Drive right-of-way contiguous to the property, in order to afford the greatest viewshed protection.*
- ☒ Upslope (the building pad is higher in elevation than the street/Mulholland Drive)
- ☐ Downslope (the building pad is lower in elevation than the street/Mulholland Drive)
4. **Project Visibility:** Is the project visible from Mulholland Drive? Yes ☒ No ☐
5. **Viewshed Penetration:** Does the project penetrate the viewshed? Yes ☐ No ☒
6. **Access:** Does the project alter access onto the Mulholland Right-of-way? Yes ☐ No ☒
7. **Improved Street Width:** Improvement required: Yes ☐ No ☒ Street dedication required: _____ ft.
8. **Environmental Protection Measures:** Is the project...
- ☐ On a prominent ridge
- ☐ Within 200 feet of a public parkland
- ☐ Within 50 vertical feet of a prominent ridge
- ☐ Within 100 feet of a stream bank
9. **Project Size:** Remodel of Existing Dwelling, Less than 50% of replacement value
- a. **Existing Structure(s)**, excluding existing garage (line b), covered porches (line c), & basements (line d): 0 sq. ft.
- b. **Existing Garage/Covered Carport:** Required Parking: 0 sq. ft. Provided Parking Area: 0 sq. ft.
- c. **Existing Covered Porch/Patio/Breezeway/Balcony area**, not deducting 12.03 exemption areas: 0 sq. ft.
- d. **Existing Basement Area**, as defined by Section 12.03 (include the total amount of exempt area): 0 sq. ft.
- e. **Demolition**, of existing structure (excluding garage): 0 sq. ft.
- f. **Proposed New Construction**, including all additions minus line b and excluding lines a, c, d, e, g, h, and i: 1139 sq. ft.
- g. **Proposed Garage/Covered Carport:** Required Parking: 400 sq. ft. Provided Parking Area: 500 sq. ft.
- h. **Proposed Covered Porch/Patio/Breezeway/Balcony area**, not deducting 12.03 exemption areas: 251 sq. ft.
- i. **Proposed Basement Area**, as defined by Section 12.03 (include the total amount of exempt area): 641 sq. ft.
- j. **Total structure(s)**, existing, proposed and garage (total lines a, f, g, h, and i, and subtract e): 2531 sq. ft.
- k. **Lot Coverage** (building footprint of all structures divided by lot sq. ft.): 5.5% %
- l. **Floor Area Ratio (FAR)** (total floor area minus required parking sq. ft. divided by lot sq. ft.): 9.4% %
- m. **Total Hardscape** (impermeable surfaces; see Filing Instructions page 8 for more information): 5938 sq. ft.
- n. **Total Lot Coverage** (building footprint and hardscape divided by lot sq. ft.): 31.8% %
10. **Project Building Height** (as defined by the Dept. of Building and Safety/Baseline Hillside Ordinance):
- Existing structure: 0 -0 ft. Proposed structure: 27'-10" ft.
11. **Grading:** How many cubic yards of cut and/or fill is involved?
- Cut: 790 cubic yards Export: 695 cubic yards
- Fill: 95 cubic yards Import: 0.0 cubic yards
12. **Sustainability:** Do the plans reflect the sustainable building measures being used for the project? Yes ☒ No ☐
13. **Existing Trees:** Does the project propose moving or cutting down any Protected Trees (Oak, California Black Walnut, Western Sycamore or California Bay trees) or other Native Trees? Yes ☐ No ☒
- Number of Oak trees to be cut down? 0 To be moved? 0
- Number of other native trees to be cut down? 0 To be moved? 0

Department of Building and Safety / City Planning

Slope Analysis and Maximum Residential Floor Area Verification Form

SECTION I. Name Applicant(s)/Property Owner(s) Mark Haddawy
Address: 7764 Torreyson Phone Number: 661-251-0565

SECTION II. Project Address: 7764 Torreyson Drive Los Angeles Ca.
Lot: Por 20 Tract: 11357 Assessor Parcel Number: 5570-014-006

Proposed Project Description: (describe in detail, including all proposed work and dimensions)
New Construction Single Family Dwelling

SECTION III. Circle the Zone of the project site in Table 1 and complete Worksheet 1.

*Residential Floor Area shall be calculated as defined in LAMC Section 12.03

Table 1. Single-Family Zone Hillside Area Residential Floor Area Ratios (FAR)								
Slope Bands (%)	R1	RS	RE9	RE11	RE15	RE20	RE40	RA
0 – 14.99	0.5	0.45	0.40	0.40	0.35	0.35	0.35	0.25
15 – 29.99	0.45	0.40	0.35	0.35	0.30	0.30	0.30	0.20
30 – 44.99	0.40	0.35	0.30	0.30	0.25	0.25	0.25	0.15
45 – 59.99	0.35	0.30	0.25	0.25	0.20	0.20	0.20	0.10
60 – 99.99	0.30	0.25	0.20	0.20	0.15	0.15	0.15	0.05
100 +	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Worksheet 1. Hillside Area Maximum Residential Floor Area Formula					
(A)	(B)		(C)		(D)
Slope Bands (%)	Lot Area within each slope band (sq-ft). From survey/ contour map.		FAR from the Zone circled in Table 1		Max. Residential Floor Area* allowed within each slope band
0 – 14.99	1,438.00	X	0.35	=	503.30
15 – 29.99	8,288.00	X	0.30	=	2,486.40
30 – 44.99	6,890.00	X	0.25	=	1,722.50
45 – 59.99	5,010.00	X	0.20	=	1,002.00
60 – 99.99	955.00	X	0.15	=	143.25
100 +		X	0.00	=	0.00
Maximum Residential Floor Area =					5,857.45

DEPARTMENT OF BUILDING AND SAFETY/ DEPARTMENT OF PUBLIC WORKS

PRELIMINARY REFERRAL FORM FOR
☐ BASELINE HILLSIDE ORDINANCE No. 181,624
☐ HILLSIDE ORDINANCE No. 168,159

Building and Safety

Date: 05/28/2013

PIN: 156B173-33

Address:

Applicant:

District Map: 156B173

Tract: TR 11357

Project Description:

Block:

Lot: 20

Phone:

APN: 5570014006

Fax:

PCIS No.:

Public Works:

Vehicular Access:

1. Is the Continuous Paved Roadway (CPR)* at least 28ft wide from the driveway apron of the subject lot to the boundary of the Hillside Area?

☐ Yes ☒ No

2. Is the CPR at least 20ft wide, from the driveway apron of the subject lot to the boundary of the Hillside Area?

☒ Yes ☐ No

3. Is the street adjacent to the subject lot at least 20ft wide?

☒ Yes ☐ No

(Note: all streets adjacent to a lot must be considered when the lot has multiple street frontages, such as a corner lot or a through lot.)

* CPR = begins at the driveway apron and must be continuous and without permanent obstacles to the boundary of the Hillside Area.

If "2" and "3" are Yes: COMPLY WITH HILLSIDE ORD. ZA APPROVAL IS NOT REQ'D

If "2" or "3" are No: REFER TO PLANNING FOR APPROVAL PER 12.24X21 OR 12.24X28

Street Type:

1st Street Name: TORREYSON DR

R/W width: 26

Roadway width: 20

☐ Lot fronts on a standard hillside limited street

☒ Lot fronts on a sub standard hillside limited street

☒ Dedication required width: 5

☐ Improvement required

Plan Index: p-7528

Comments:

2nd Street Name:

R/W width:

Roadway width:

☐ Lot fronts on a standard hillside limited street

☐ Lot fronts on a sub standard hillside limited street

☐ Dedication required width:

☐ Improvement required

Plan Index:

Comments:

Sewer Connection:

Lot located less than 200 ft from sewer mainline:

☐ Use existing wye and permit

☐ Use existing wye, obtain new permit

☒ Obtain new connection and new permit

☐ Obtain B-Permit from PW/BOE to construct new mainline

Lot located greater than 200 ft from sewer mainline:

☐ Obtain LADBS approval for on-site sewer

☐ Obtain B-Permit from PW/BOE to construct new mainline

Public Works Employee completing this form:

Sign: B. Mollerbus

Print Name: B. MOLLERBUS

Date: 5-28-13

Phone: 374 1090

Location: VALLEY

* The final determination of Hillside Ordinance applicability shall be made after any and all dedication/improvements (if required) have been made.

Department of Building and Safety / City Planning
Slope Analysis and Maximum Residential Floor Area Verification Form

I, YOSHIAKI MIYAMOTO, am the licensed professional surveyor or Registered Civil
(Print Name)
Engineer in the State of California (License # PLS 4825, Expiration Date : 09-30-2014)
certify that all the above information is correct.
Signature [Signature] Date: 5/7/14

SECTION IV. (To be completed by City Planning Staff)

Approved Maximum Residential Floor Area for the property listed below: 51,857.45 sq.ft.

Property Information:

Lot: 20 Tract: 11357

Assessor Parcel Number: 5570-014-006

Address: _____

City Planning's Staff:

2 Sets of Slope Analysis Maps Stamped and Signed Yes ☒ No ☐

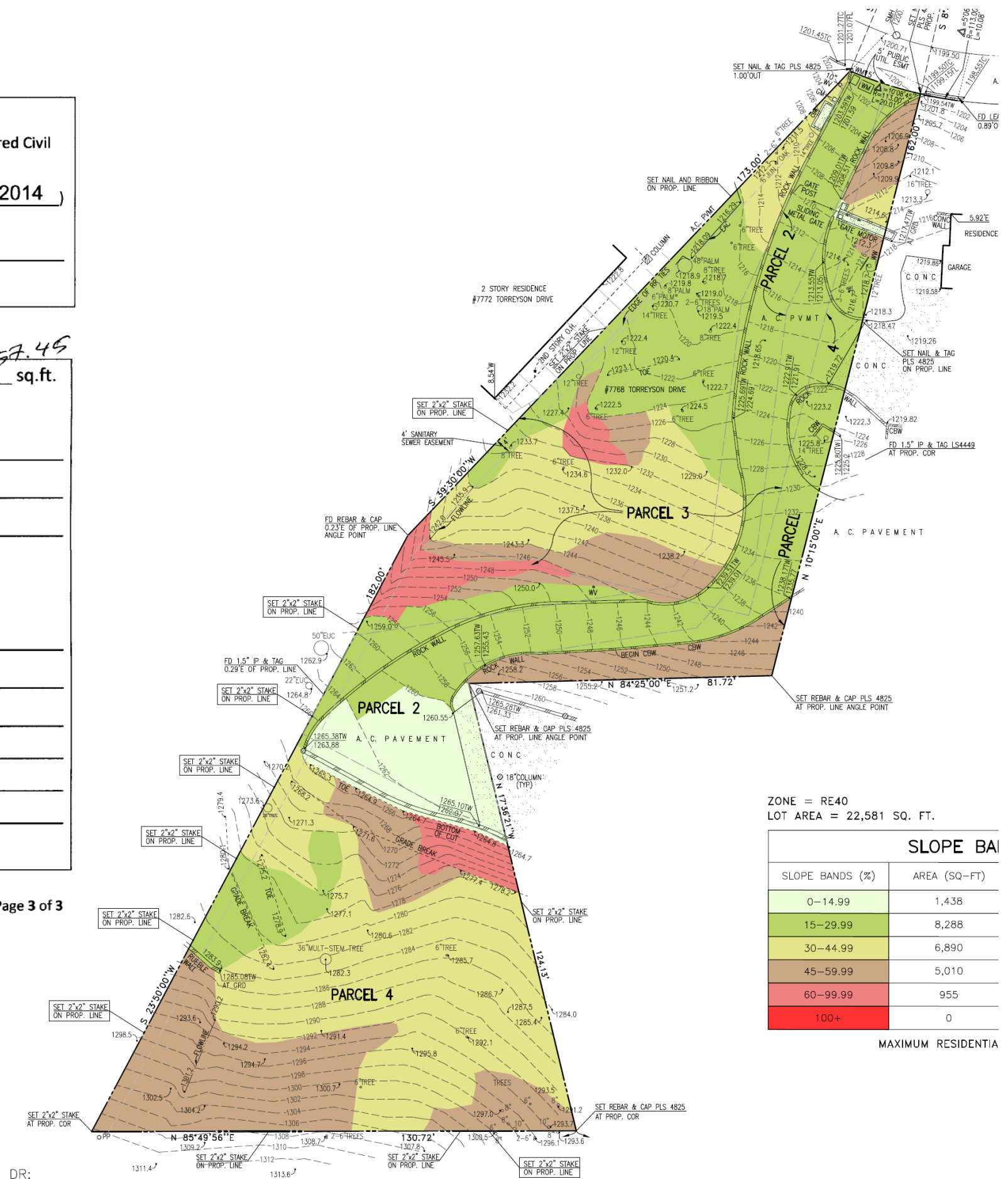
Name (Please Print): VANESSA SOTO

Signature: [Signature] Date: 6/25/14

Notes: _____

May 4, 2011

Page 3 of 3



7766 Torreyson Drive 90046
F-2.1 Slope Analysis Map

MASTER LAND USE PERMIT APPLICATION
LOS ANGELES CITY PLANNING DEPARTMENT

Planning Staff Use Only			
ENV No.		Existing Zone	
APC		District Map	
Community Plan		Council District	
Census Tract	APN	Case Filed With [DSC Staff]	Date

CASE NO. _____

APPLICATION TYPE MSC DRB DIR Mulholland Scenic Corridor Design Review Board, & Dir. determination
(zone change, variance, conditional use, tract/parcel map, specific plan exception, etc.)

1. PROJECT LOCATION AND SIZE

Street Address of Project 7285 Mulholland Drive Zip Code _____

Legal Description: Lot 20 arb 3 Block none Tract TR 11357

Lot Dimensions 300' x 120' Zrreg Lot Area (sq. ft.) 22,581 Total Project Size (sq. ft.) 2866

2. PROJECT DESCRIPTION

Describe what is to be done: New 2 story, 42' diameter Single Family Dwelling and attached 2 car garage

Present Use: SINGLE FAMILY DWELLING Proposed Use: SINGLE FAMILY DWELLING

Plan Check No. (if available) _____ Date Filed: _____

Check all that apply:

<input type="checkbox"/> New Construction	<input type="checkbox"/> Change of Use	<input type="checkbox"/> Alterations	<input type="checkbox"/> Demolition
<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Tier 1 LA Green Code

Additions to the building: ☐ Rear ☐ Front ☐ Height ☐ Side Yard

No. of residential units: Existing 0 To be demolished 0 Adding 1 Total 1

3. ACTION(S) REQUESTED

Describe the requested entitlement which either authorizes actions **OR** grants a variance:

Code Section from which relief is requested: _____ Code Section which authorizes relief: 16.50
Design review pursuant to Mulholland Design Review Board for a Remodeled Single Family Dwelling,
which significantly alters the views from Mulholland Drive in the Inner Corridor.

Code Section from which relief is requested: _____ Code Section which authorizes relief: _____

4. OWNER/APPLICANT INFORMATION

Applicant's name Randall Akers Company _____

Address: 19425 Soledad Canyon Road Telephone: (661) 251-0565 Fax: () _____

Santa Clarita, CA Zip: 91351 E-mail: factarch@gmail.com

Property owner's name (if different from applicant) Mark Haddaway

Address: 7766 Torreyson Drive Telephone: (661) 251-0565 Fax: () _____

Los Angeles CA Zip: 90046 E-mail: _____

Contact person for project information Randall Akers Company _____

Address: 19425 Soledad Canyon Road Telephone: (661) 251-0565 Fax: () _____

Santa Clarita, CA Zip: 91351 E-mail: factarch@gmail.com

5. APPLICANT'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

- a. The undersigned is the owner or lessee if entire site is leased, or authorized agent of the owner with power of attorney or officers of a corporation (submit proof). (NOTE: for zone changes lessee may not sign).
- b. The information presented is true and correct to the best of my knowledge.
- c. In exchange for the City's processing of this Application, the undersigned Applicant agrees to defend, indemnify and hold harmless the City, its agents, officers or employees, against any legal claim, action, or proceeding against the City or its agents, officers, or employees, to attack, set aside, void or annul any approval given as a result of this Application.

Signature: _____ Print: Randall Akers

ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of _____

On _____ before me, _____
(Insert Name of Notary Public and Title)

personally appeared _____, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature (Seal)

6. ADDITIONAL INFORMATION/FINDINGS

In order for the City to render a determination on your application, additional information may be required. Consult the appropriate Special Instructions handout. Provide on attached sheet(s) this additional information using the handout as a guide.

NOTE: All applicants are eligible to request a one time, one-year only freeze on fees charged by various City departments in connection with your project. It is advisable only when this application is deemed complete or upon payment of Building and Safety plan check fees. Please ask staff for details or an application.

Planning Staff Use Only		
Base Fee	Reviewed and Accepted by [Project Planner]	Date
Receipt No.	Deemed Complete by [Project Planner]	Date

CP-7771 (09/09/2011)

Mullholland Drive - it has been said - is 'John Lautner-land': along the fabled road are located many of the architect's most-celebrated houses. These include the well-known, and very visible, Carling (1947) and Garcia or Rainbow (1962) houses; it includes the lesser-known and hidden away Deutsch (1950), Bergren (1953), Polin (1947) and Jacobsen (1947) houses. It also includes the Chemosphere or Malin Residence (1960), one of the architect's - and the city's - best-know houses, as well as, just below the Chemosphere, the Harpel House (1956), designed for William Harpel, a radio announcer. It is through Harpel, that Lautner met Len Malin.

The Harpel house, at the end of a long and steep drive, sits on a narrow shelf, creating an entry court between house and hill. Lautner employed caissons, equally spaced on a triangular grid, which anchor the house structurally and conceptually into the land and extend above ground to support massive glue-lam beams that form the roof structure. The hexagonal main part of the house contains the entry and the living spaces, to this is attached a wing containing kitchen and bedrooms. By 1966 the Harpels had moved to Anchorage, Alaska, where they built a second, and much larger, Lautner-designed house.

The current project, the Harpel guesthouse, was designed in 1958. A fairly detailed set of working drawings, including structural calculations and drawings by B. Cardan (struct. engineer for the Harpel house and for the Chemosphere) exists in the John Lautner Archive, now at the Getty Research Institute. Probably for cost reasons, this project was abandoned and instead a partial second story was added to the main house. Though preliminary sketches for this second story addition exist in the Lautner Archive, it is unclear, how much Lautner was involved in executing this addition.

When current owner Mark Haddawy (former owner of the Pierre Koenig Case Study House #21) purchased the Harpel House, it was in a state of serious neglect and disrepair. It was Haddawy's careful restoration - removing the second floor addition, re-constructing original built-in furniture and generally following Lautner's original plans - that brought the Harpel House back to its original condition and to the attention of Lautner enthusiasts and scholars. The project received in 2011 a Restoration Award from the John Lautner Foundation, and the house is currently awaiting the last hearings to be included in the National Register of Historic Places.

To complete Lautner's original vision for the site, Haddawy approached The John Lautner Foundation to obtain permission to build, more than 50 years after it was designed, the guesthouse. Given that the project is to be built on the exact location it was designed for, and given Mr. Haddawy's dedication and experience restoring mid-century architecture, The John Lautner Foundation for the first and only time granted permission for a Lautner building to be constructed post-humously.

The design for the guesthouse is deceptively simple: a cylindrical composition of semi-circular walls of concrete, concrete block and glass, nest in each other and are surmounted by a circular roof, supported on extremely slender columns (a design that bears some minor similarities to the Ernest Lautner house in Pensacola, Florida; 1959). By off-setting the walls to each other, tilting the concrete wall below ground outwards and the concrete block wall above ground inwards (to follow the slope of the topography) a building of great spatial complexity is created - a shell, or cave, perched on the hill and open to the views.

Other than minor revisions, the project seeks to faithfully complete a rare and unbuilt design by John Lautner. Revisions had to be made to the structure - changing the roof construction to an all-steel system and introducing concrete shear walls within the building - to respond to seismic codes more restrictive now than 50 years ago. Revisions also had to be made to observe stricter energy-use codes. Information on colors and, in some cases, materials is incomplete – the one existing rendering of the project is in black and white. Careful research and comparison to other Lautner projects including the main Harpel house was conducted to obtain possible answers.

To authentically and respectfully translate the original design a team of Lautner experts - architects, structural engineer, landscape designer - was assembled. The structural engineering is sensitively handled by Andrew Nasser, an engineer who worked first with Eero Saarinen before collaborating with John Lautner on about twenty of his last projects, while the landscape architect, Ivette Soler, has made a name for herself working on historically and architecturally significant projects in the US and in Mexico. Escher GuneWardena are the project architects leading the efforts. Frank Escher, a principal of the firm, is the editor of the first monograph on John Lautner, he was the Administrator for The John Lautner Archive (before this was acquired by the Getty Research Institute) and he was a co-curator for the 2007 Hammer Museum exhibition on Lautner, and Escher GuneWardena were the restoration architects for Lautner's Chemosphere. Other significant projects include the first phase of the restoration of the Eames House (in collaboration with the Getty Conservation Institute).

Escher
GuneWardena
Architecture

815 Silver Lake Boulevard, Los Angeles, California
90026 tel: 323 665 9100 fax: 323 665 9103

Harpel Residence 2
7766 Torreyson Drive Los Angeles CA 90046

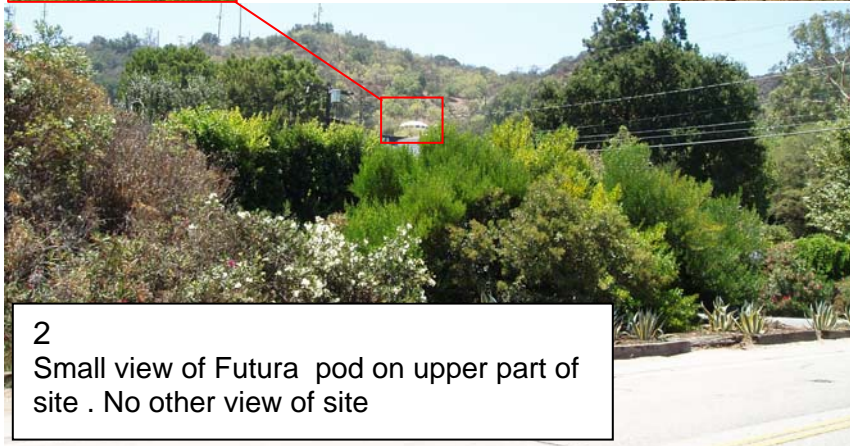
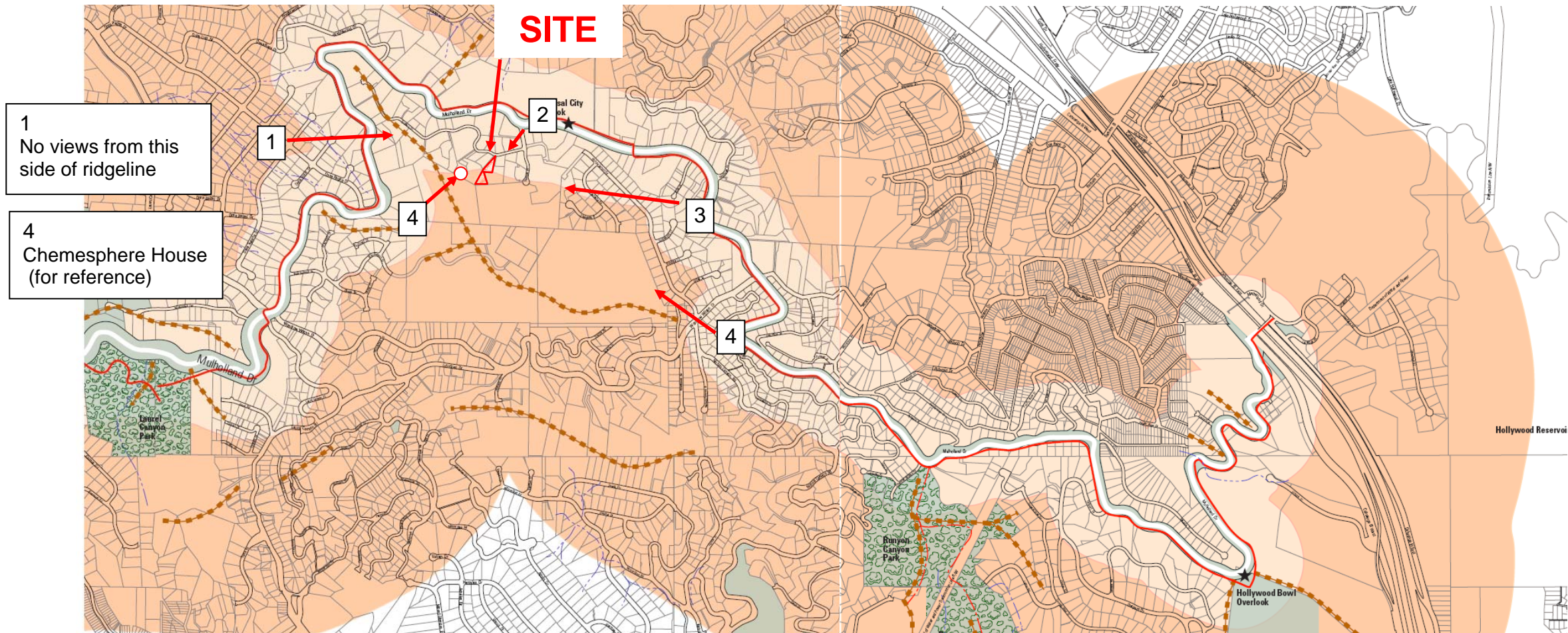
Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Written Narrative

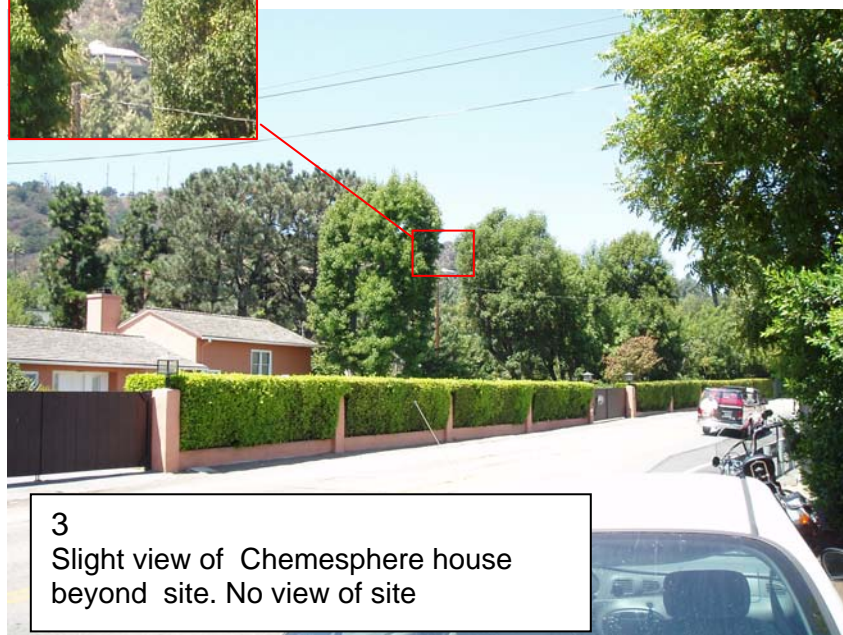
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7766 Torreyson Drive 90046
S-1 Written Narrative





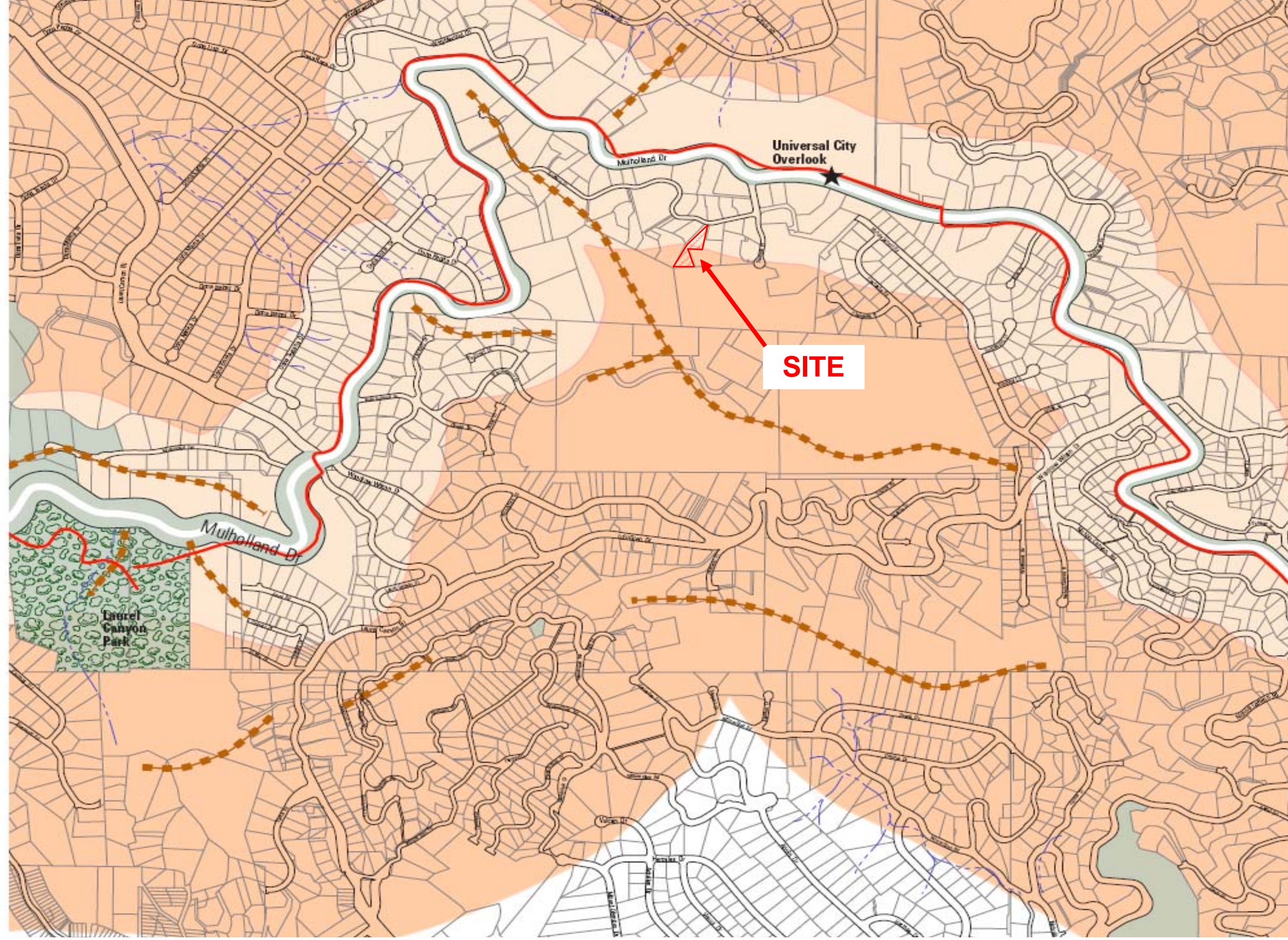
2
Small view of Futura pod on upper part of site . No other view of site



3
Slight view of Chemesphere house beyond site. No view of site



4
Slight view of Chemesphere house beyond site. No view of site





City of Los Angeles
Department of City Planning

3/25/2015
PARCEL PROFILE REPORT

PROPERTY ADDRESSES

None

ZIP CODES

None

RECENT ACTIVITY

CHC-2008-3288-MAEX

CASE NUMBERS

CPC-2002-6583-SP
CPC-1986-831-GPC
CPC-18760
ORD-167943
ORD-164716
ORD-132416
ENV-2009-832-CE

Address/Legal Information

PIN Number 156B173 33
Lot/Parcel Area (Calculated) 22,561.1 (sq ft)
Thomas Brothers Grid PAGE 563 - GRID A7
PAGE 593 - GRID A1
Assessor Parcel No. (APN) 5570014006
Tract TR 11357
Map Reference M B 208-20/27
Block None
Lot 20
Arb (Lot Cut Reference) 3
Map Sheet 156B173

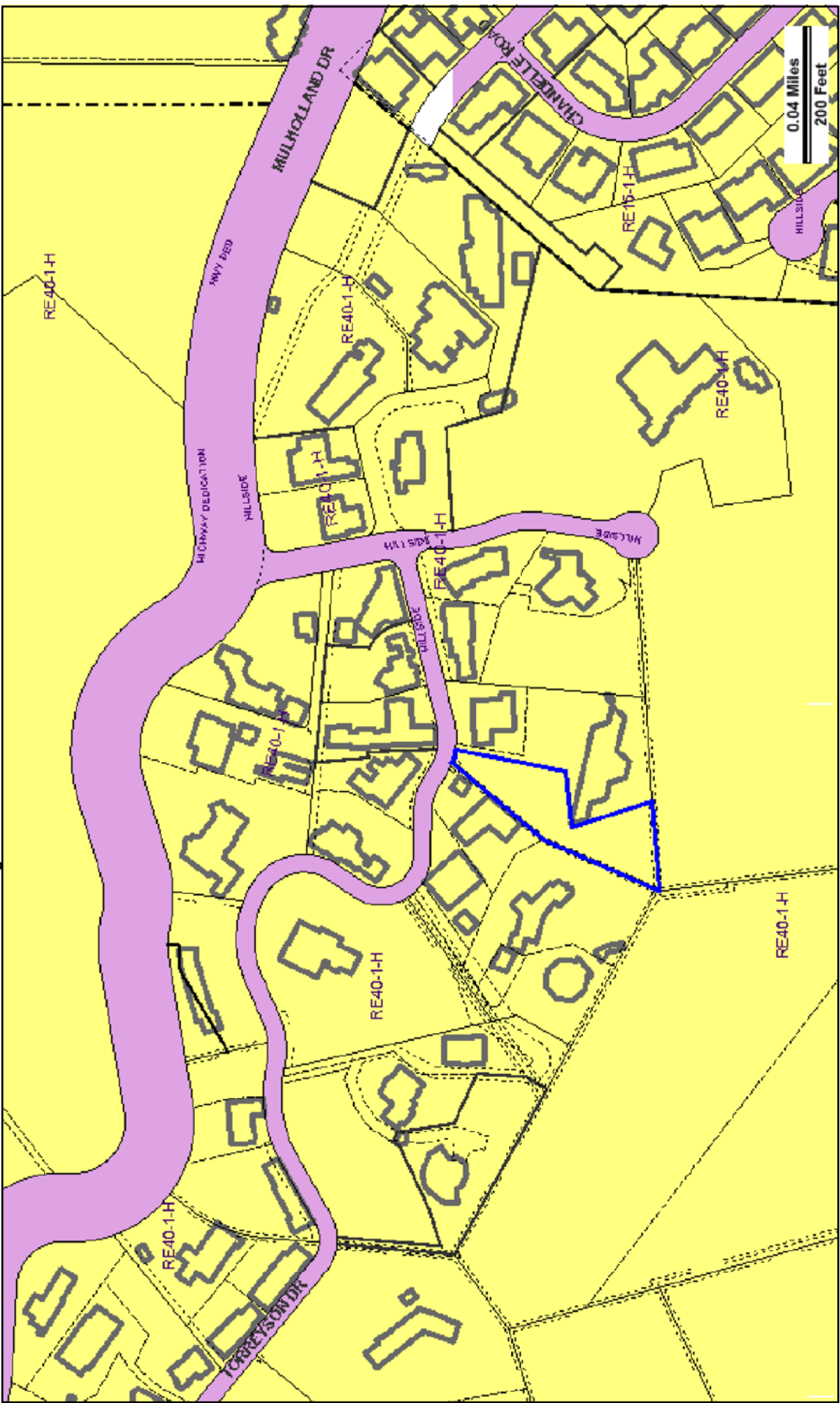
Jurisdictional Information

Community Plan Area Hollywood
Area Planning Commission South Valley
Neighborhood Council Hollywood Hills West
Council District CD 4 - Tom LaBonge
Census Tract # 1941.02
LADBS District Office Los Angeles Metro

Planning and Zoning Information

Special Notes None
Zoning RE40-1-H
Zoning Information (ZI) ZI-2374 LOS ANGELES STATE ENTERPRISE ZONE
ZI-2438 Equine Keeping in the City of Los Angeles
General Plan Land Use Minimum Residential
General Plan Footnote(s) Yes
Hillside Area (Zoning Code) Yes
Baseline Hillside Ordinance Yes
Baseline Mansionization Ordinance No
Specific Plan Area Mulholland Scenic Parkway (Inner Corridor)
Mulholland Scenic Parkway (Outer Corridor)
Special Land Use / Zoning None
Design Review Board Yes
Yes
Historic Preservation Review No
Historic Preservation Overlay Zone None
Other Historic Designations None
Other Historic Survey Information None
Mills Act Contract None
POD - Pedestrian Oriented Districts None
CDO - Community Design Overlay None
NSO - Neighborhood Stabilization Overlay No
Streetscape No
Sign District No
Adaptive Reuse Incentive Area None
CRA - Community Redevelopment Agency None
Central City Parking No

City of Los Angeles
Department of City Planning
03/25/2015
Generalized Zoning
ZIMAS PUBLIC

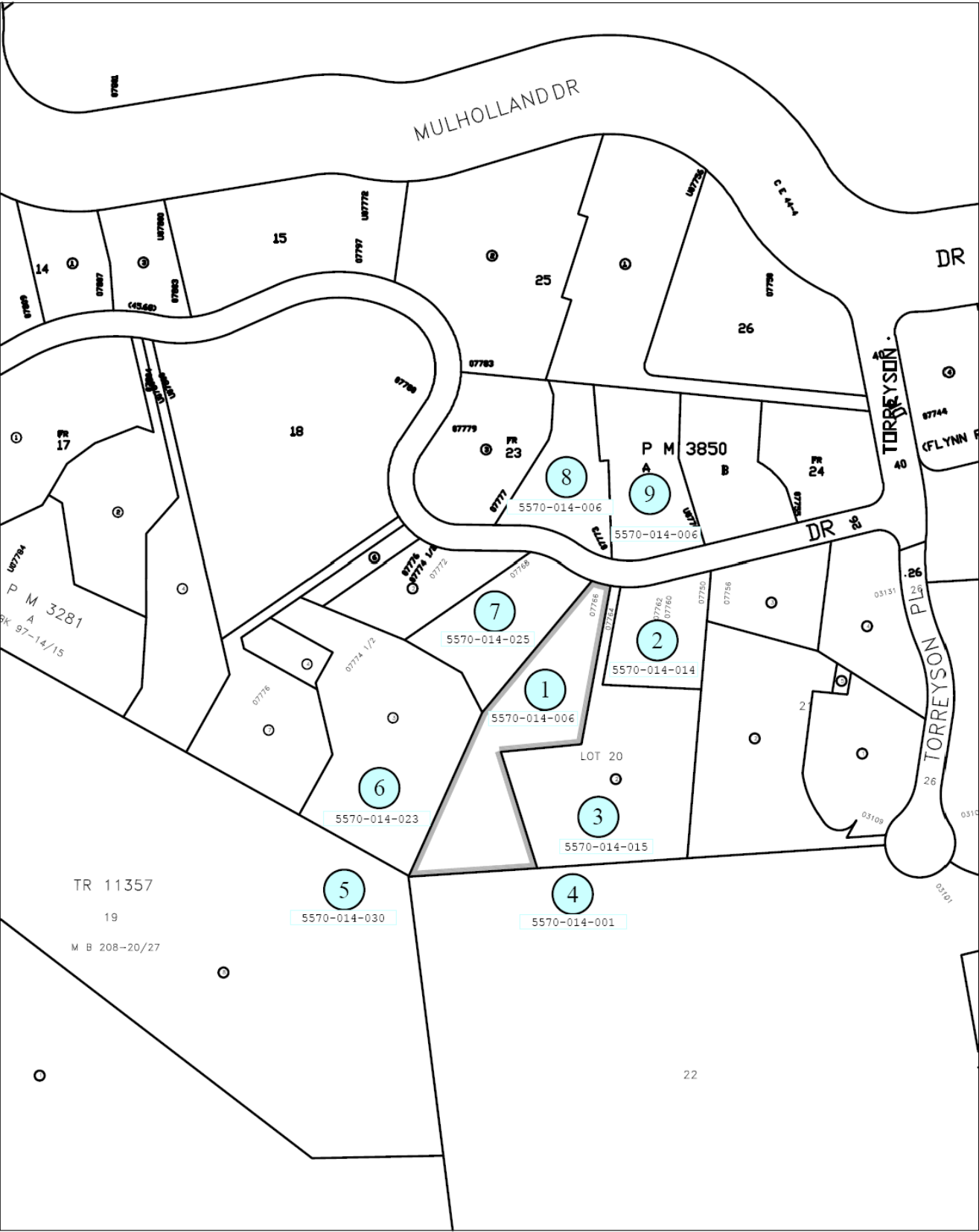


Address: undefined
APN: 5570014006
PIN #: 156B173 33
Tract: TR 11357
Block: None
Lot: 20
Arb: 3
Zoning: RE40-1-H
General Plan: Minimum Residential

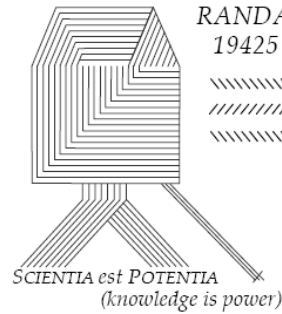
7766 Torreyson Drive 90046
S-5 Zimas Info

Randall Akers 19425 Soledad Cyn Rd. #200 Santa Clarita, CA 91351 --	0	HADDAWY MARK 7764 TORREYSON DR LOS ANGELES, CA 90046 5570-014-015	1, 3	KATHY KOBE TRUST 7760 TORREYSON DR LOS ANGELES, CA 90046 5570-014-014	2
FIRST TENNESSE BANK N A TR VALLEY VIEW TRUST 10960 WILSHIRE BLVD 5TH FL LOS ANGELES, CA 90024 5570-014-001	4	CHEMOSPHERE LLC 6671 SUNSET BLVD #1508 LOS ANGELES CA 90028 5570-014-030	5, 6	SHULMAN DIANE H 7768 TORREYSON DR LOS ANGELES, CA 90046 5570-014-025	7
BRODER ROBERT ROBERT BRODER TRUST 6345 BALBOA BLVD #375 ENCINO, CA 91316 5570-015-011	8	BRODER ROBERT & CYNTHIA 7765 TORREYSON DR LOS ANGELES, CA 90046 5570-015-018	9	Escher GuneWardena Architecture 815 Silver lake Blvd. Los Angeles CA 90026	00

7764 Torreyson Dr, 90046
Mailing Labels



7764 Torreyson Dr, 90046
Abutting Property Owner's Map



RANDALL AKERS, CONSULTING INSPECTOR
19425 B SOLEDAD CYN. RD. #200

PHONE / FAX (661) 251-0565
CANYON COUNTRY, CA 91351

Wednesday, March 25, 2015

I, Randall Akers, hereby certify that to the best of my knowledge the attached radius map correctly depicts the required data obtained from the records of the Office of the City Engineer, City Clerk and / or City Planning Department of the City of Los Angeles and, Where appropriate the State division of Highways.

I further hereby certify that to the best of my knowledge, and under penalty of perjury, the attached ownership list correctly shows the latest names and addresses on the City Clerk's records as of the following date: 3/25/2015. In certain circumstances, such as in annexation proceedings, where there may be no City Clerk's records, the records of the County Assessor's office may be accepted by the Planning Commission.

Randall Akers

7764 Torreyson Dr, 90046
Mapmaker's Affidavit

BTC RECEIPT

7766 Torreyson Drive 90046
S-6.1 Mailing Info



#	APN Number	Building Sq. Ft.	Lot Size	% Lot coverage	notes
1	5570-014-006	0	0	---	
2	5570-015-008	4,092	33,584	12.18%	
3	5570-015-009	2,504	28,662	8.74%	
4	5570-015-010	2,779	27,834	9.98%	
5	5570-013-007	3,189	11,630	27.42%	
6	5570-013-009	3,064	12,041	25.45%	
7	5570-013-013	6,278	43,667	14.38%	
8	5570-014-010	3,483	60,984	5.71%	
9	5570-015-004	2,950	15,289	19.29%	
10	5570-015-011	2,449	11,289	21.69%	
11	5570-015-018	5,288	14,069	37.59%	
12	5570-015-019	4,698	12,414	37.84%	
13	5570-015-007	3,189	11,630	27.42%	
14	5570-013-012	3,359	27,292	12.31%	
15	5570-014-024	3,251	9,801	33.17%	
16	5570-014-025	3,425	13,024	26.30%	
17	5570-014-014	2,007	10,149	19.78%	
18	5570-014-004	2,962	9,365	31.63%	
19	5570-014-003	2,667	13,138	20.30%	
20	5570-013-004	13,530	127,841	10.58%	
21	5570-014-030	2,062	198,000	1.04%	
22	5570-014-023	3,101	17,598	17.62%	
23	5570-014-015	3,012	28,488	10.57%	
24	5570-014-013	2,442	15,289	15.97%	
		0	0		
	23 used sites	85,781	753,078	11.39%	

	Total buildings	AVG.		
--		3729.9	32,742	11.39%

Proposed Project				
1	5570-014-006	2531 *	22,581	11.2 %

Gross floor area = 2531 , see app for correct FAR

Although this project is not seeking LEED for Homes certification, we have studied our sustainability performance through comparison of the measures defined by the LEED for Homes Project Checklist. The following narrative also sites our compliance with 2014 Los Angeles Green Building Code (2014 LAGBC) Mandatory Requirements Checklist for newly constructed residential buildings as a framework for sustainability.

Site and Land Use

Previously Undeveloped, Infill Site and Access to Existing Infrastructure
The proposed location of the residence is consistent with the 1958 plans. The site has since become enveloped by the local community. Utilizing this site increases density, mitigating sprawl and impact on existing infrastructure as most of the lot borders with existing development and is currently served by gas, water and sewer pipelines.

Minimal Site Impact
The proposed footprint of the structure covers less than 25% of the available lot area. It is situated in the rear quarter of the front half of our lot with respect to street. Existing access to the site is provided via paved easement requiring minimal new hardscape complete the proposed approach, giving direct access to the construction site. An existing paved turnabout near the mouth of the proposed driveway extension will serve as construction staging. This direct access rear half and front quarter of the lot will receive little or no impact during the construction process.

Environmentally Responsible Site
Our site avoids development of environmentally sensitive sites by meeting five primary criteria. Our lot is not on land in a 100-year floodplain as defined by FEMA, on habitat for threatened or endangered species, within 100 ft of water, including wetlands, was not public parkland prior to acquisition, and is not defined as prime soils, unique soils, or soils of state significance.

Construction Erosion and Pollution Control Measures
In our planning phase we must incorporate LAGBC's Form GRN1, Stormwater Pollution Control into our plans. The measures set forth compliance guidelines to properly protect the site from erosion while controlling sediment and runoff from entering our stormwater systems during construction.

Native, Drought Tolerant Species, Efficient and Smart Irrigation
We intend to preserve the existing landscape outside of the construction zone with the exception of identifying and eliminating non-native and invasive species. Any new landscape will be composed of native, drought tolerant species. In order to minimize erosion, geotextiles will be installed as required, securing the soil while new roots establish. We will also be installing a drip irrigation system with zones parallel to the site contours. These zones will be scheduled in a staggered fashion to promote percolation. Moisture sensors will also be installed to help preserve water resources and prevent over-watering to down-slope locations.

Building Design and Sustainable Material Selection

Optimal Building Orientation
The design is such that the majority of the exterior wall surface area and glazing are on the north facade. As the facade approaches the southern apex both the wall and glazing surface area approach a minimum. Of the exposed facade, large overhangs help to shelter the surface from the direct solar gain.

Exterior Material Selection - Foundation and Basement
The basement and first floors, along with the retaining foundation walls, are composed of locally manufactured high thermal mass concrete, with a proposed minimum of 25% recycled content. The wall on the northern downslope side will be constructed of locally sourced, fully grouted and reinforced concrete masonry units. The rebar used of all concrete and block construction has an average recycled content of 90%. Both the concrete and block will not require additional finishing conserving energy and resources.

Building Design and Sustainable Material Selection (con'd)

Exterior Material Selection - Above Grade
The design also has high thermal mass construction above grade positioned to the east, south, and west facades. This will help mitigate heat gain during the day. Above the wall is a ribbon of low reflectivity, low-e glazing which is sheltered by generous roof overhangs. The glazing on the south will help alleviate daytime heat gain in the evening. The roof is covered in high albedo materials helping to reduce the heat island effect and shield against radiant heat gain to the interior. Wood framing will be used in an infill role for the roof diaphragm and attachment of sheathing to the steel framed mezzanine. All wood products will be procured through FSC certified vendors. A wood cut list will be generated ahead of construction to limit the amount of wood waste in the process.

Interior Material Selection
The limited material palette of plaster(primarily on ceiling), unfinished concrete masonry, unfinished concrete, painted metal, and plywood allow for a high degree of control when specifying low or no VOC additives, paints, sealants and wood finishes. All wood products and veneers will be purchased from FSC certified stock.

Durability of Materials
The primary structural components are composed of concrete and steel which outlast wood framing equivalents, requiring very little if any maintenance over its serviceable lifetime.

Construction Waste Management
Per City of Los Angeles Green Building Code all construction waste will be removed from the site and disposed of by an approved City of Los Angeles vendor.

Efficient Energy Systems and Energy Use

We have generated an energy plan that complies with the State of California, Title 24. Per our energy plan, as produced by our registered California Association of Building Energy Consultant, our HVAC system will be composed of a high efficiency system. We are seeking a 96% efficiency and 16 SEER rating. We will be insulating all pipes and ductwork to a level as prescribed by our consultant, while having our system tested by an independant HERS agent to verify its stated performance.

We are also employing measures beyond the State's minimum requirements. These include, solar hot water heating, a certified "Cool Roof," providing area for potential on site solar electric generation, an outlet for an EV charging station, Energy Star appliances and fixtures and low-e, low reflectivity glazing.

Efficient Water Management

Our design is sensitive to the limited water resources of Southern California. Per Los Angeles Green Building Code we will be using low flow toilets, showerheads, and faucets. In addition to these minimum requirements, we also plan to invest in a drip irrigation system with soil moisture monitoring, while landscaping the developed portion of our site with native, drought tolerant species. This method, also known as xeriscaping, can help to reduce the watering requirements by as much as 50%

Harpel Residence 2

7766 Torreyson Drive Los Angeles CA 90046

Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Escher
Gunewardena
Architecture

815 Silver Lake Boulevard, Los Angeles, California
90026 tel: 323 665 9100 fax: 323 665 9103

Sustainability Narrative

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- LEGEND
- A.C. ASPHALTIC CONCRETE
 - CBW CONCRETE BLOCK WALL
 - CONC CONCRETE
 - EAC EDGE OF ASPHALTIC CONCRETE
 - EC END CURVE
 - FL FLOWLINE
 - FSW FLAGSTONE WALL
 - GM GAS METER
 - GRD GRADE
 - HB HOSEBIB
 - IP IRON PIPE
 - O.H. OVERHANG, OVERHEAD
 - PP POWER POLE
 - PVMT PAVEMENT
 - SCV SPRINKLER CONTROL VALVE
 - SMH SEWER MANHOLE
 - TC TOP OF CURB
 - TW TOP OF WALL
 - WM WATER METER
 - WV WATER VALVE
 - WW WOOD WALL

BENCH MARK:
WIRE SPIKE IN E CURB TORREYSON DR;
82 FT S OF CTR PAV MULHOLLAND DR
20 FT S/O END OF CURB, CITY OF LOS ANGELES
BENCH MARK NO. 13-21234
ELEVATION = 1157.403 FEET (1985 ADJ)



AREAS:
PARCEL 1 = 28,566 SQ FT
PARCELS 3 & 4 = 22,581 SQ FT
PARCEL 2 = EASEMENT FOR INGRESS & EGRESS

LEGAL DESCRIPTION

PARCEL 1:

THAT PORTION OF LOT 20 OF TRACT NO. 11357, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 208, PAGES 20 TO 27, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT; THENCE ALONG THE NORTHERLY LINE OF SAID LOT, SOUTH 76° 11' 29" WEST 58.45 FEET TO THE BEGINNING OF A TANGENT CURVE IN SAID NORTHERLY LINE CONCAVE NORTHERLY AND HAVING A RADIUS OF 113.00 FEET; THENCE WESTERLY ALONG SAID CURVE 34.50 FEET TO A POINT, A RADIAL LINE TO SAID CURVE TO SAID POINT BEARS SOUTH 03° 41' 11" WEST; THENCE SOUTH 10° 15' 00" WEST 100.00 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 10° 15' 00" EAST 100.00 FEET TO SAID NORTHERLY LINE; THENCE WESTERLY ALONG THE ABOVE MENTIONED CURVE 10.08 FEET TO A POINT, A RADIAL LINE OF SAID CURVE TO THE LAST MENTIONED POINT BEARS SOUTH 08° 47' 46" WEST; THENCE SOUTH 10° 15' 00" WEST 162.00 FEET; THENCE SOUTH 84° 25' 00" WEST 81.72 FEET; THENCE SOUTH 17° 36' 21" EAST 124.13 FEET TO THE SOUTHERLY LINE OF SAID LOT 20; THENCE ALONG SAID SOUTHERLY LINE NORTH 85° 49' 53" EAST 151.76 FEET TO THE SOUTHEAST CORNER OF SAID LOT; THENCE ALONG THE EASTERLY LINE OF SAID LOT, NORTH 04° 22' 59" EAST 171.39 FEET TO A POINT IN SAID EASTERLY LINE, DISTANT SOUTH 04° 22' 59" WEST 120.00 FEET FROM THE NORTHEAST CORNER OF SAID LOT; THENCE NORTH 87° 33' 01" WEST 99.71 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2:

AN EASEMENT FOR INGRESS AND EGRESS OVER THAT PORTION OF LOT 20 OF TRACT NO. 11357, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 208, PAGES 20 TO 27, INCLUSIVE, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT, SAID NORTHWEST CORNER BEING A POINT IN A CURVE CONCAVE NORTHERLY AND HAVING A RADIUS OF 113.00 FEET, A RADIAL LINE OF SAID CURVE TO SAID CORNER BEARS SOUTH 18° 58' 29" WEST; THENCE SOUTH 21° 11' 11" WEST 68.55 FEET; THENCE SOUTH 03° 00' 00" WEST 66.00 FEET; THENCE SOUTH 37° 04' 05" WEST 15.31 FEET; THENCE SOUTH 77° 08' 09" WEST 95.00 FEET TO THE NORTHWESTERLY LINE OF SAID LOT 20; THENCE ALONG SAID NORTHWESTERLY LINE SOUTH 23° 50' 00" WEST 30.00 FEET; THENCE SOUTH 68° 10' 00" EAST 64.05 FEET TO A POINT IN THE WESTERLY BOUNDARY OF THE PARCEL OF LAND HEREINAFORE DESCRIBED AS PARCEL 1, SAID POINT BEING IN THAT CERTAIN COURSE DESCRIBED IN SAID PARCEL 1, AS HAVING A BEARING AND LENGTH OF SOUTH 17° 36' 21" EAST 124.13 FEET; THENCE ALONG SAID CERTAIN COURSE AND ITS NORTHERLY PROLONGATION NORTH 17° 36' 21" WEST 50.51 FEET, MORE OR LESS, TO A LINE THAT IS PARALLEL WITH AND DISTANT 12.00 FEET SOUTHERLY, MEASURED AT RIGHT ANGLES, FROM THAT CERTAIN COURSE DESCRIBED ABOVE AS HAVING A BEARING AND LENGTH OF SOUTH 37° 04' 05" WEST 15.31 FEET; THENCE ALONG SAID PARALLEL LINE NORTH 37° 04' 05" EAST 24.06 FEET; THENCE NORTH 03° 00' 00" WEST 67.80 FEET; THENCE NORTH 21° 11' 11" EAST 67.09 FEET TO THE NORTHERLY LINE OF SAID LOT 20; THENCE ALONG SAID NORTHERLY LINE, WESTERLY ALONG THE ABOVE MENTIONED CURVE HAVING A RADIUS OF 113.00 FEET, A DISTANCE OF 12.06 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

THAT PORTION OF LOT 20 OF TRACT NO. 11357, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 208, PAGES 20 ET SEQ., OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID LOT, BEING IN A CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 113.00 FEET, A RADIAL LINE OF SAID CURVE TO SAID POINT BEARS SOUTH 18° 58' 29" WEST; THENCE EASTERLY ALONG THE SAID CURVE AN ARC DISTANCE OF 10.00 FEET, MORE OR LESS, TO A POINT THEREON THROUGH WHICH A RADIAL LINE OF SAID CURVE BEARS SOUTH 13° 52' 15" WEST; THENCE SOUTH 10° 15' 00" WEST 148.00 FEET; THENCE NORTH 80° 53' 01" WEST 94.49 FEET TO AN ANGLE POINT IN THE NORTHWESTERLY LINE OF SAID LOT; THENCE ALONG THE SAID NORTHWESTERLY LINE, NORTH 39° 30' 00" EAST 173.00 FEET TO THE POINT OF BEGINNING.

PARCEL 4:

THAT PORTION OF LOT 20 OF TRACT NO. 11357, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 208, PAGES 20 ET SEQ., OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

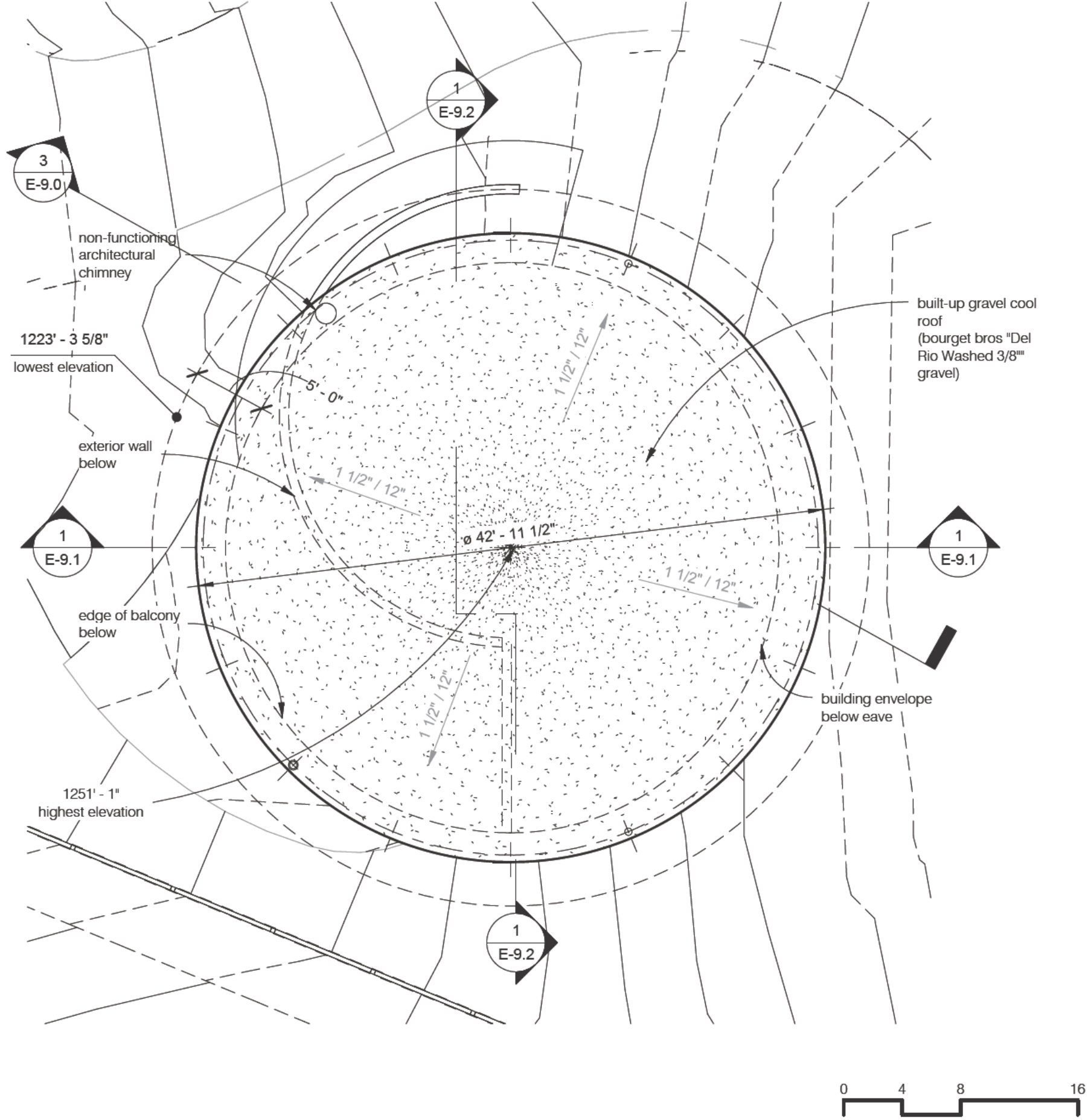
BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT; THENCE ALONG THE SOUTHERLY LINE THEREOF, NORTH 85° 49' 53" EAST 130.71 FEET TO THE SOUTHWESTERLY CORNER OF THE LAND DESCRIBED IN PARCEL 1 OF THE DEED TO WESTERN STATES MANAGEMENT CORPORATION, A CORPORATION, RECORDED MAY 13, 1957, AS INSTRUMENT NO. 1877, IN BOOK 54481, PAGE 326, OF OFFICIAL RECORDS; THENCE ALONG THE WESTERLY BOUNDARY LINE OF SAID LAST MENTIONED LAND, NORTH 17° 36' 21" WEST 124.13 FEET; THENCE NORTH 84° 25' 00" EAST 81.72 FEET AND NORTH 10° 15' 00" EAST 162.00 FEET TO THE CURVED NORTHERLY LINE OF SAID LOT, A RADIAL LINE OF SAID CURVE THROUGH SAID LAST MENTIONED POINT BEARS SOUTH 08° 47' 46" WEST; THENCE WESTERLY ALONG THE SAID CURVED NORTHERLY LINE HAVING A RADIUS OF 113.00 FEET, AN ARC DISTANCE OF 10.00 FEET, MORE OR LESS, TO A POINT THEREON THROUGH WHICH A RADIAL LINE OF SAID CURVE BEARS SOUTH 13° 52' 15" WEST; THENCE SOUTH 10° 15' 00" WEST 148.00 FEET; THENCE NORTH 80° 53' 01" WEST 94.49 FEET TO AN ANGLE POINT IN THE NORTHWESTERLY LINE OF SAID LOT; THENCE ALONG THE SAID NORTHWESTERLY LINE, SOUTH 23° 50' 00" WEST 182.00 FEET TO THE POINT OF BEGINNING.

SCALE: 1" = 16'

BECKER AND MIYAMOTO, INC. LICENSED LAND SURVEYORS 2816 ROBERTSON BLVD. LOS ANGELES, CA. 90034 (310) 839-9530		JOB NO.
TOPOGRAPHIC SURVEY 7768 TORREYSON DRIVE		DRAWN BY:
TWO		CHECKED BY:
REMOVED DELIVERED FOR MARK HADDAWAY		DATE OF SURVEY 5-2
YOSHIMI MIYAMOTO LS 4825 PRESIDENT		SHEET
		OF

Topographic Survey

7766 Torreyson Drive 90046
E-3 Topographic Survey



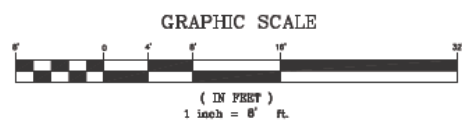
Harpel Residence 2
7766 Torreyson Drive Los Angeles CA 90046
Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

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7766 Torreyson Drive 90046
E-4 Topographic Roof Plan

LEGEND

---	CHAINLINK FENCE
---	RIGHT OF WAY LINE
---	CENTERLINE
---	EASEMENT LINE
---	PROPOSED WALL
---	EXISTING WALL
---	CURB
---	DIRECTION OF FLOW
---	TOP OF SLOPE
---	BOTTOM OF SLOPE
(1216)	EXISTING CONTOUR
1216	PROPOSED CONTOUR
(1218.21)	EXISTING SPOT ELEVATION
1218.21	PROPOSED SPOT ELEVATION
Ø	DIAMETER
BOT	BOTTOM
BW	BACK OF WALK
DS	DOWNSPOUT
FF	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOW LINE
FS	FINISHED SURFACE
GB	GRADE BREAK
HP	HIGH POINT
INV	INVERT
MH	MANHOLE
PL	PROPERTY LINE
S	SLOPE
TG	TOP OF GRATE
SD	STORM DRAIN
TW	TOP OF WALL
NG	NATURAL GRADE
RR	RAILROAD



CONSTRUCTION NOTES:

1. CONSTRUCT 4" PVC PIPES, SCHEDULE 40.
2. CONSTRUCT CATCH BASIN 36" DIAMETER WITH FILTER INSERT FLOGARD+PLUS FGP-RF 36" PER OLDCASTLE/KRISTAR ENTERPRISES, INC. OR EQUAL. SEE DETAIL ON SHEET C-2.
3. CONSTRUCT GRASS SWALE PER DETAIL ON SHEET C-2.
4. CONSTRUCT 6" CONCRETE CURB PER DETAIL ON SHEET C-2.
5. CONSTRUCT RETAINING WALL PER ARCHITECT PLANS.
6. CONSTRUCT SCUPPER PER ARCHITECT PLANS.

OWNER:

MARK HADDAWY
8006 MELROSE AVENUE
LOS ANGELES, CA 90026
TEL. (510) 290-8463

SOILS ENGINEER:

BYER GEOTECHNICAL, INC.
1461 E CHEVY CHASE DR. SUITE 200
GLENDALE, CA 91206
TEL. (818) 549-9959

LEGAL DESCRIPTION:

THAT PORTION OF LOT 20 OF TRACT NO. 11357, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 208, PAGES 20 ET SEQ., OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

STATEMENT:

THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATION OF SOILS ENGINEER/GEOLOGIST REPORTS DATED DECEMBER 6, 2013.

DATE

PROJECT ADDRESS:

7766 TORREYSON DRIVE
LOS ANGELES, CA 90046

GRADING/ DRAINAGE PLAN

PREPARED BY:

KENNETH H. PARK
3550 NORTH LIDO COURT
CALABASAS, CA 91302
TEL. (818) 222-9356

GRADING QUANTITIES

Building Excavations	720 cy
(exempt under 12.21.C.10(f)(3))	
Grading Cut	70 cy
Grading Fill	95 cy

Total Import	00. cy
Total Export	695 cy

Grading Plan

Harpel Residence 2

7766 Torreyson Drive Los Angeles CA 90046

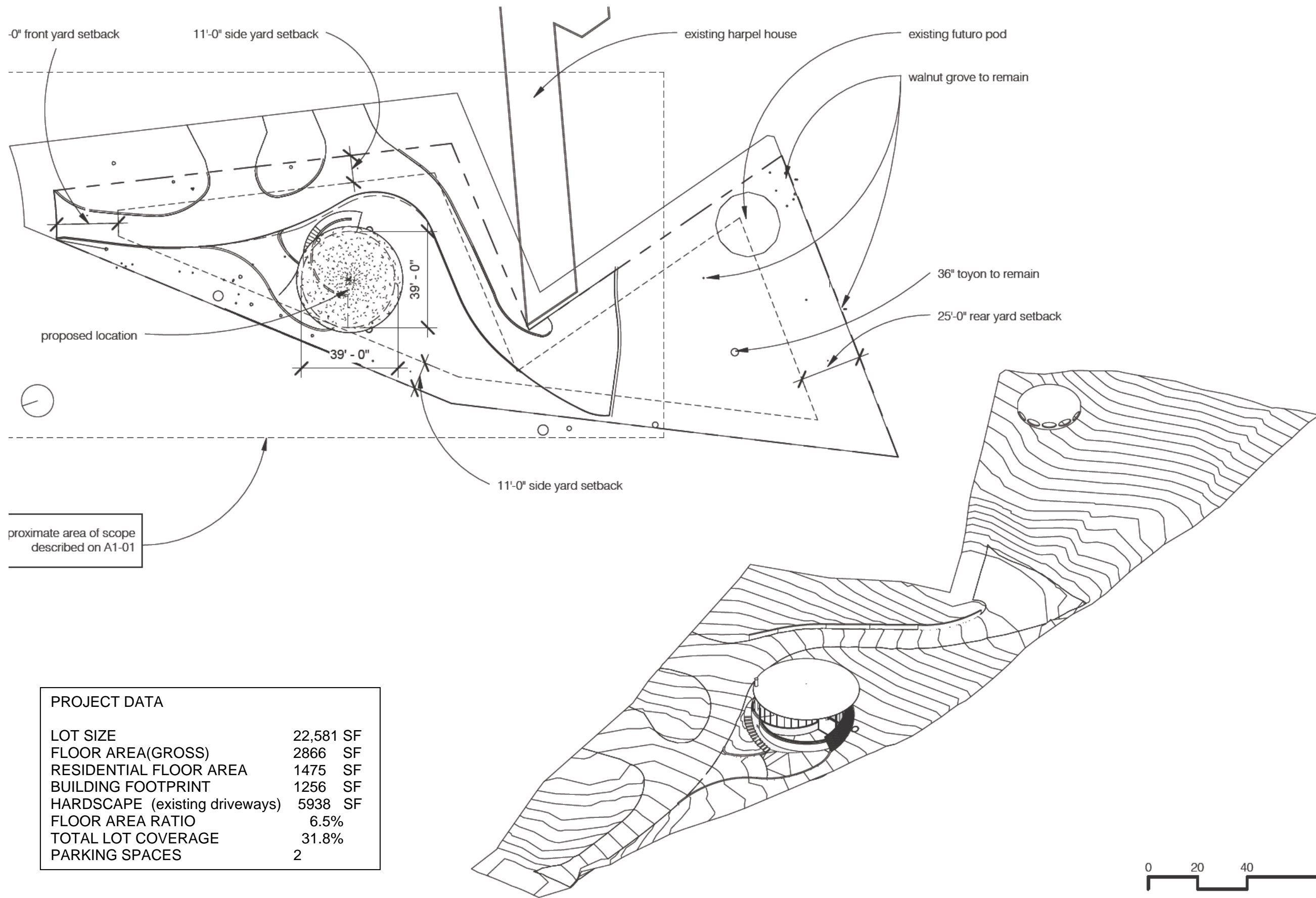
Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Escher
GuneWardena
Architecture

815 Silver Lake Boulevard, Los Angeles California
90026 tel: 323 665 9100 fax: 323 665 9103

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7766 Torreyson Drive 90046
E-5 Grading Plan



PROJECT DATA

LOT SIZE	22,581 SF
FLOOR AREA(GROSS)	2866 SF
RESIDENTIAL FLOOR AREA	1475 SF
BUILDING FOOTPRINT	1256 SF
HARDSCAPE (existing driveways)	5938 SF
FLOOR AREA RATIO	6.5%
TOTAL LOT COVERAGE	31.8%
PARKING SPACES	2



A1-00

Harpel Residence 2

7766 Torreyson Drive Los Angeles CA 90046

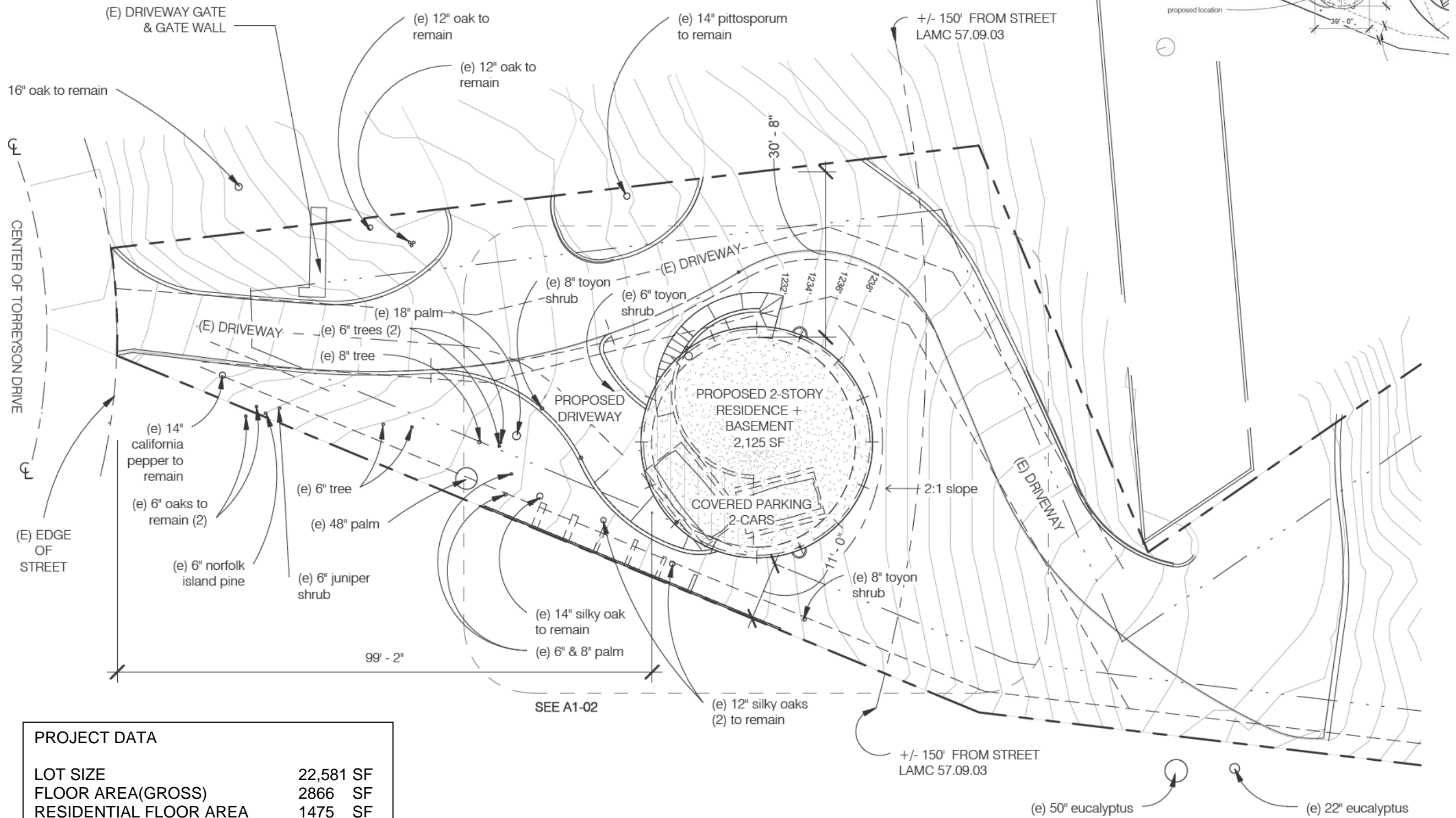
Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Escher
GuneWardena
Architecture

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7766 Torreyson Drive 90046
E-6 Plot / Site Plan



PROJECT DATA	
LOT SIZE	22,581 SF
FLOOR AREA(GROSS)	2866 SF
RESIDENTIAL FLOOR AREA	1475 SF
BUILDING FOOTPRINT	1256 SF
HARDSCAPE (existing driveways)	5938 SF
FLOOR AREA RATIO	6.5%
TOTAL LOT COVERAGE	31.8%
PARKING SPACES	2

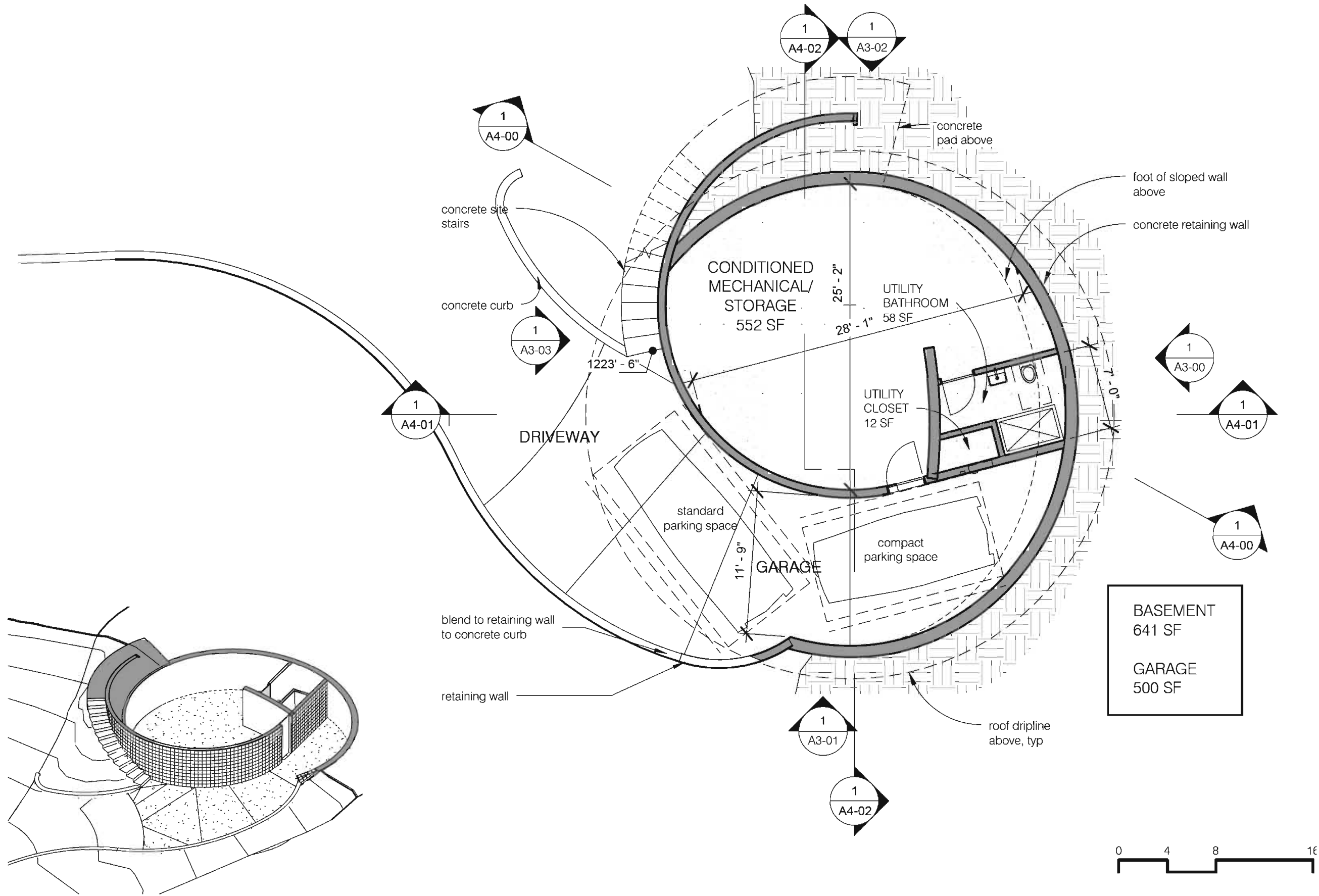
Escher
GuneWardena
Architecture

815 Silver Lake Boulevard, Los Angeles, California
90026 tel: 323 665 9100 fax: 323 665 9103

Harpel Residence 2
7766 Torreyson Drive Los Angeles CA 90046
Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Enlarged Site Plan
A1-01

7766 Torreyson Drive 90046
E- 6.1 Site Plan Detail



BASEMENT
641 SF

GARAGE
500 SF

A2-00

Escher
GuneWardena
Architecture

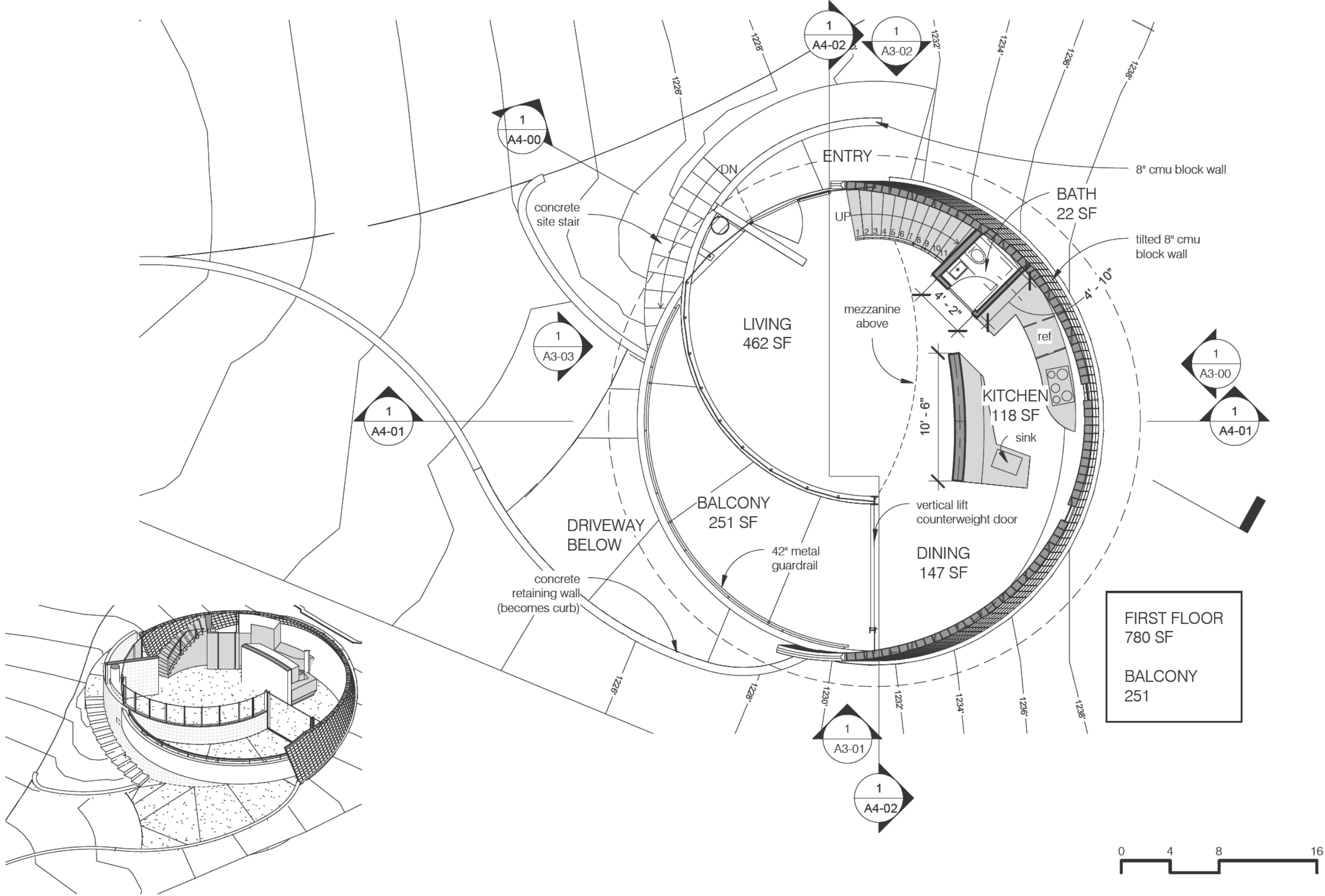
815 Silver Lake Boulevard, Los Angeles, California
90026 tel: 323 665 9100 fax: 323 665 9103

Harpel Residence 2
7766 Torreyson Drive Los Angeles CA 90046
Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Floor Plan - Basement / Garage

7766 Torreyson Drive 90046
E-7.0 Basement Floor Plan

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FIRST FLOOR
780 SF

BALCONY
251

Escher
GuneWardena
Architecture

815 Silver Lake Boulevard, Los Angeles, California
90026 tel: 323 665 9100 fax: 323 665 9103

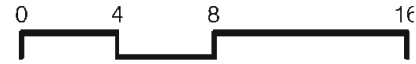
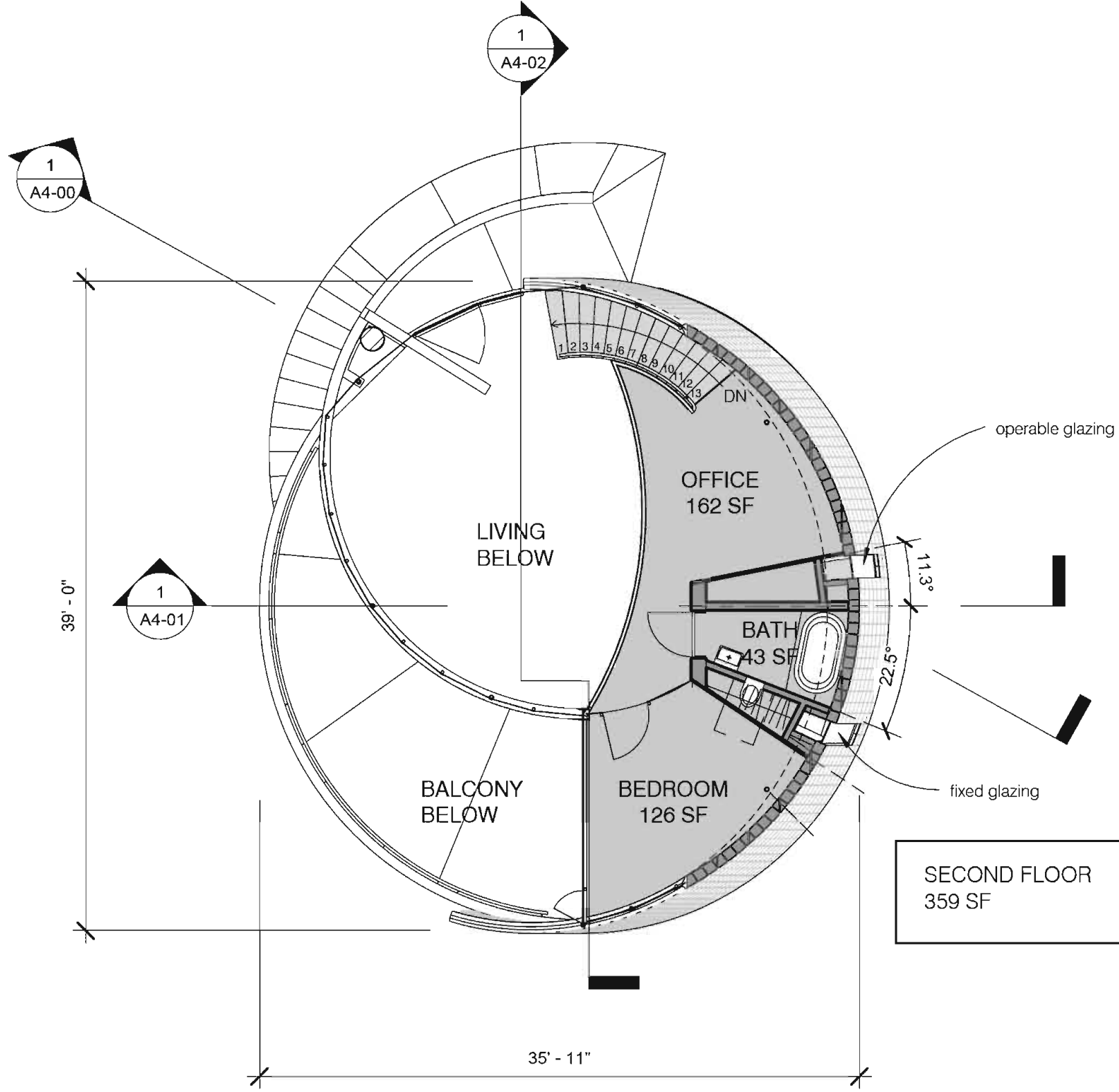
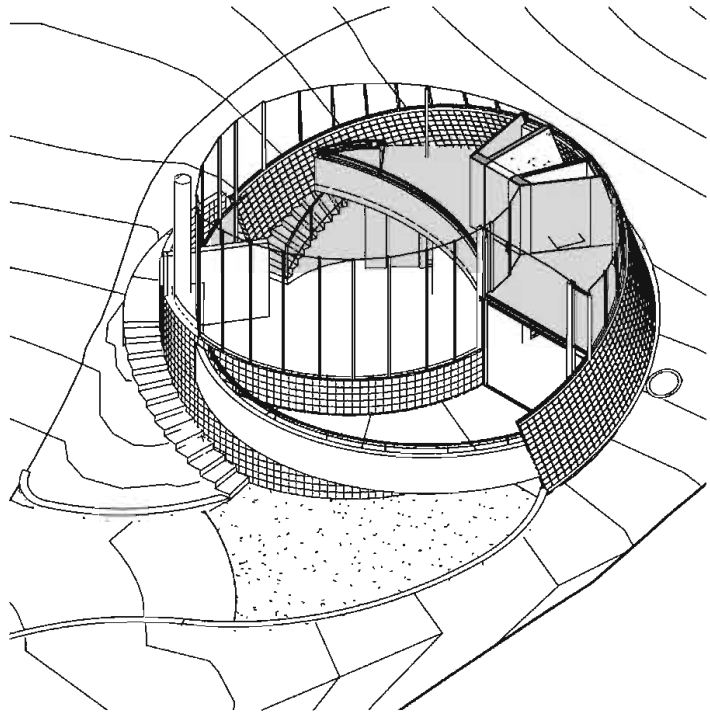
Harpel Residence 2
7766 Torreyson Drive Los Angeles CA 90046
Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Floor Plan - First Floor

A2-01

7766 Torreyson Drive 90046
E-7.1 First Floor Plan

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A2-02

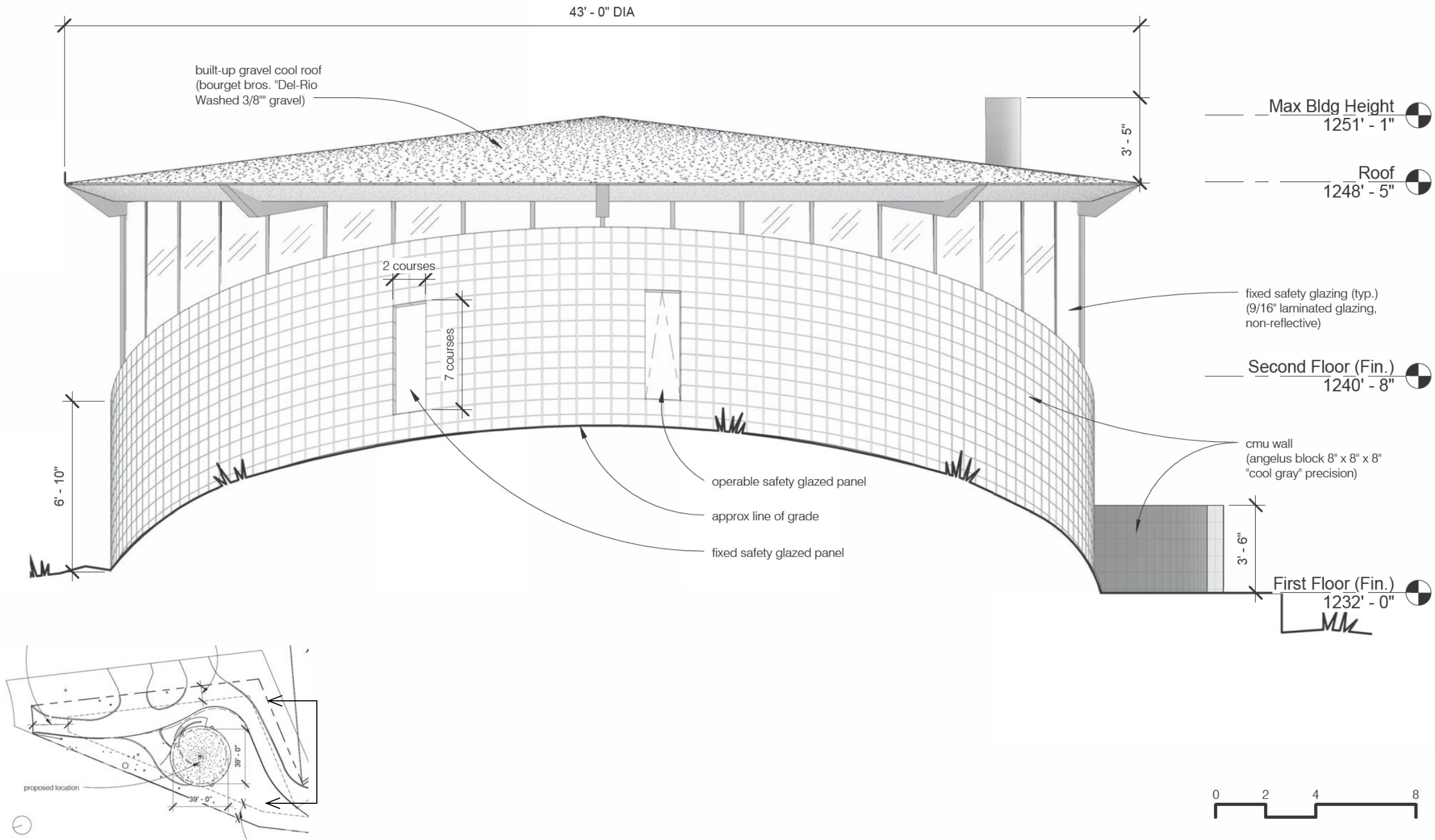
Floor Plan - Second Floor

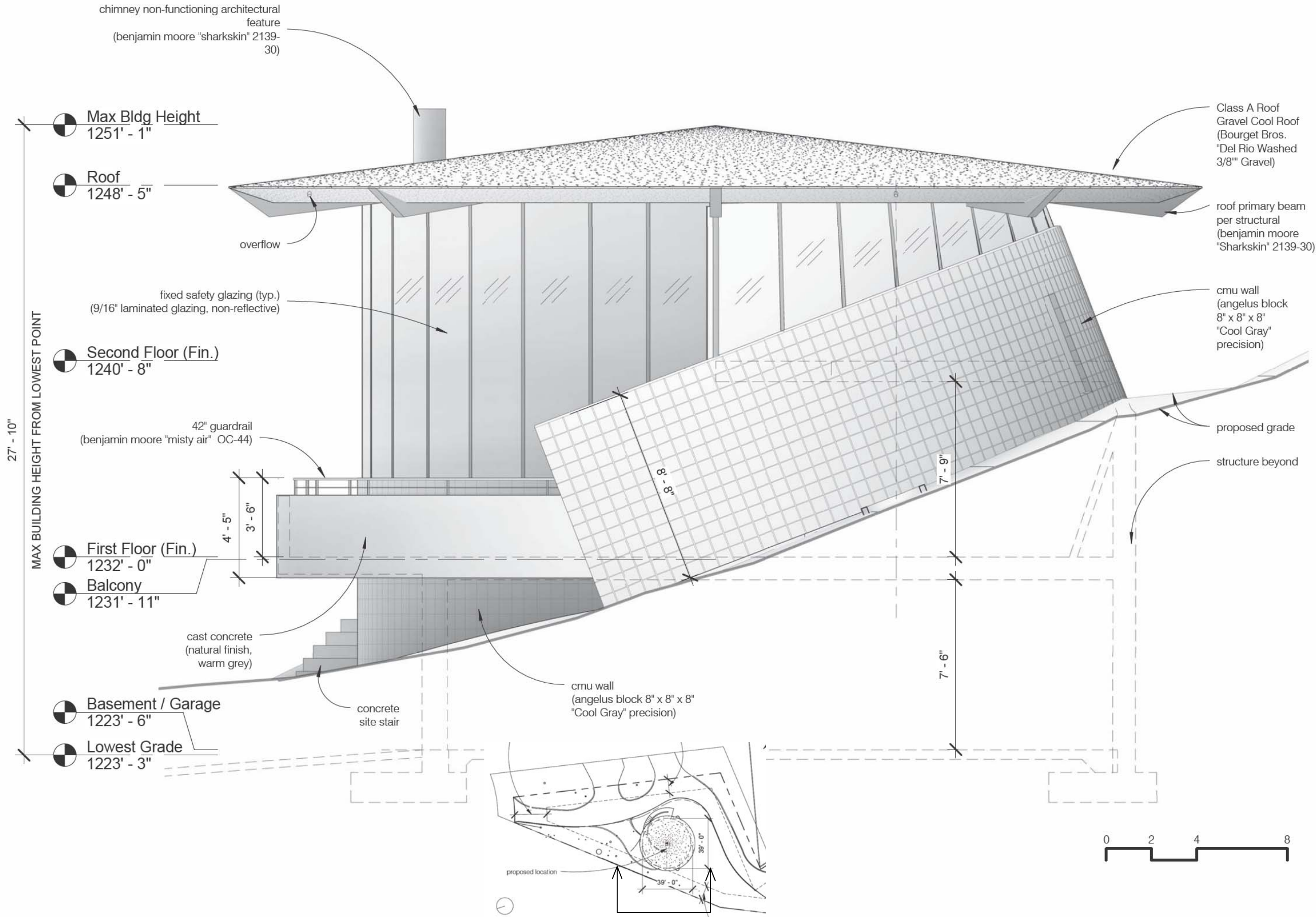
Harpel Residence 2
7766 Torreyson Drive Los Angeles CA 90046
Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

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GuneWardena
Architecture
815 Silver Lake Boulevard, Los Angeles, California
90026 tel: 323 665 9100 fax: 323 665 9103
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E-7.2 Second Floor Plan





Max Bldg Height
1251' - 1"

plaster eave & soffit
amin moore "Desert Twilight"
2137-40)

Roof
1248' - 5"

primary beam per structural
(benjamin moore "sharkskin"
2139-30)

cmu wall
(angelus block 8" x 8" x 8"
"cool gray" precision)

Second Floor (Fin.)
1240' - 8"

proposed grade

structure beyond

First Floor (Fin.)
1232' - 0"

Basement / Garage
1223' - 6"

Class A Roof
Gravel Cool Roof
(bourget bros. "Del-Rio
Washed 3/8" gravel)

chimney
non-functioning
architectural feature
(benjamin moore "sharkskin" 2139-30)

Max Bldg Height
1251' - 1"

fixed safety glazing,
typical
(9/16" laminated glazing,
non-reflective)

42" guardrail
(benjamin moore
"misty air" OC-44)

concrete site
stair
(brushed finish,
warm grey)

Lowest Grade
1223' - 3"

MAX BUILDING HEIGHT FROM LOWEST POINT
27' - 10"



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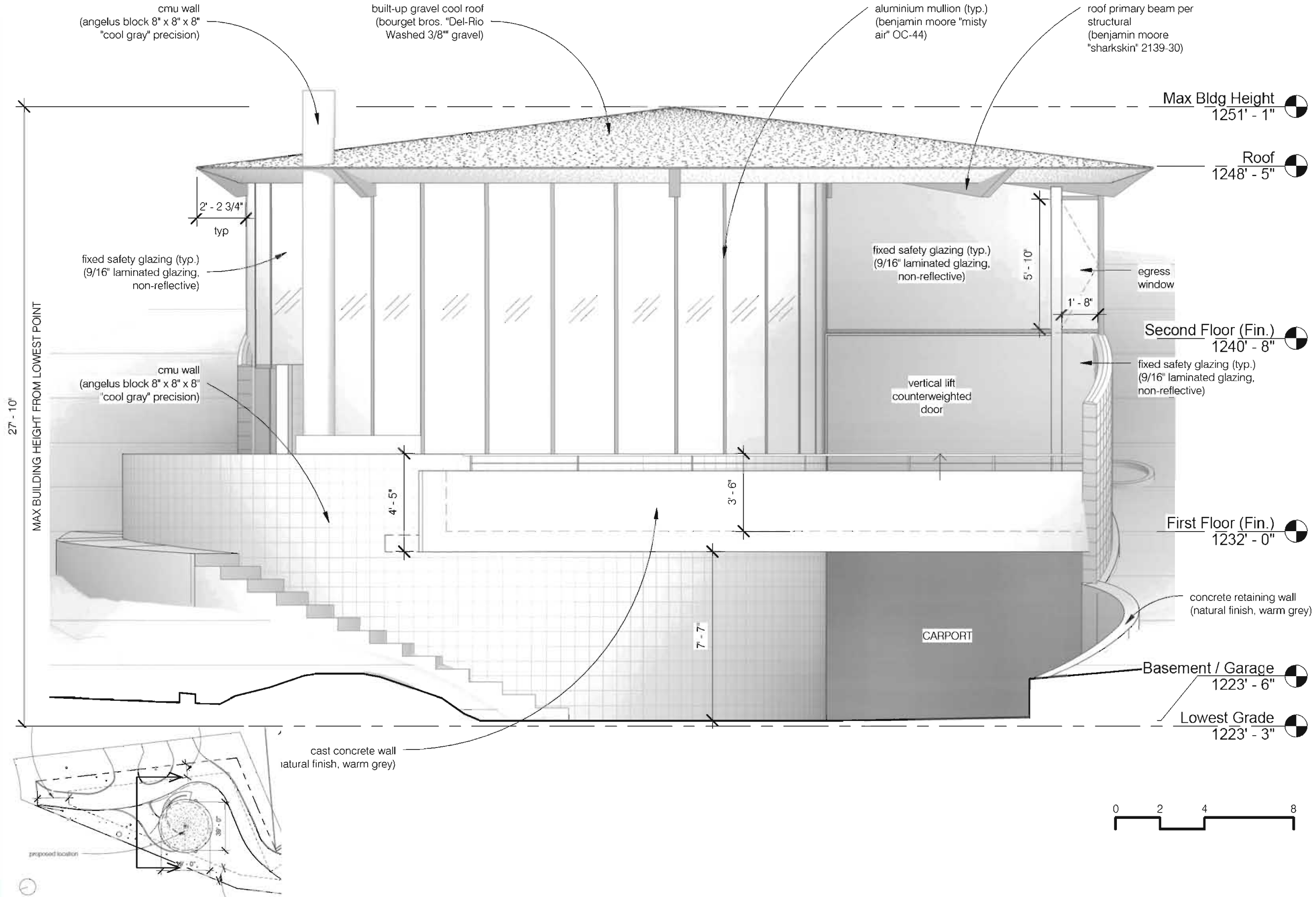
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Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Elevations - East

A3-02

7766 Torreyson Drive 90046
E-8.2 East Elevation



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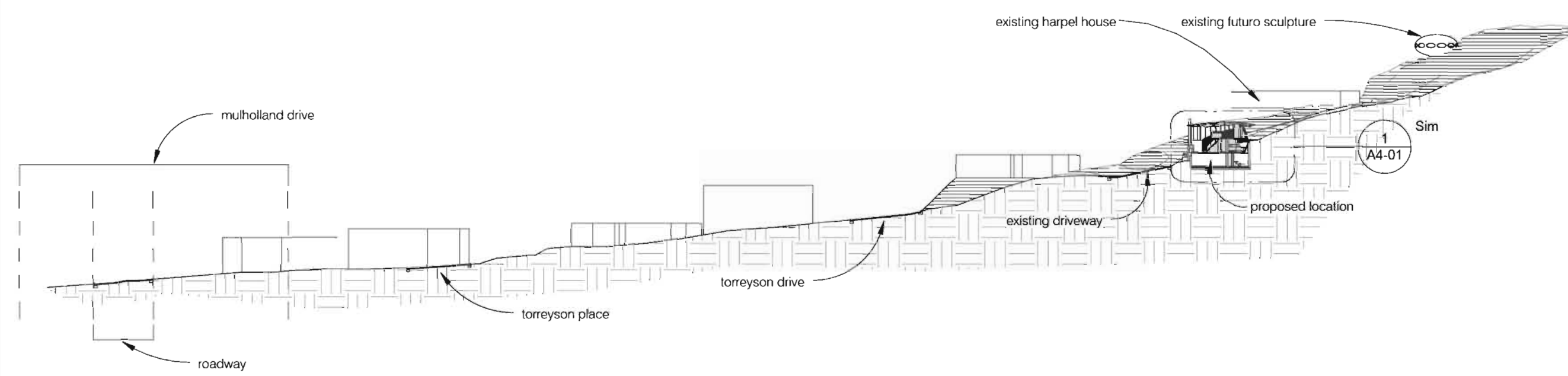
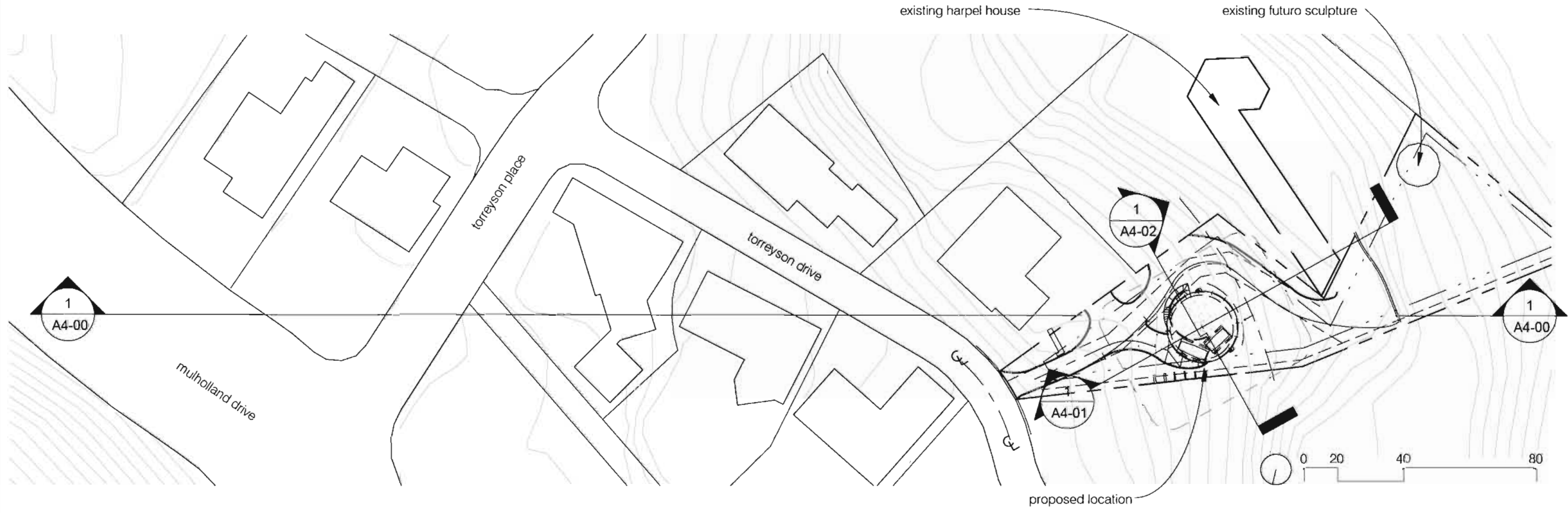
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Elevations - North

A3-03

7766 Torreyson Drive 90046
E-8.3 North Elevation

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Site Sections
A4-00

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 Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

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7766 Torreyson Drive 90046
E-9.0 Area Section

1260'
1259'
1258'
1257'
1256'
1255'
1254'
1253'
1252'
1251'
1250'
1249'
1248'
1247'
1246'
1245'
1244'
1243'
1242'
1241'
1240'
1239'
1238'
1237'
1236'
1235'
1234'
1233'
1232'
1231'
1230'
1229'
1228'
1227'
1226'
1225'
1224'
1223'
1222'
1221'
1220'

Max Bldg Height
1251' - 1"

Second Floor (Fin.)
1240' - 8"

First Floor (Fin.)
1232' - 0"

Basement / Garage
1223' - 6"

MAX BUILDING HEIGHT FROM LOWEST POINT
27' - 10"

baseline hillside ordinance
height limit (RE40-1)
(roof slope < 25%)

1
A4-02

1
A4-02

OFFICE

KITCHEN

BATH

CARPORT

existing driveway

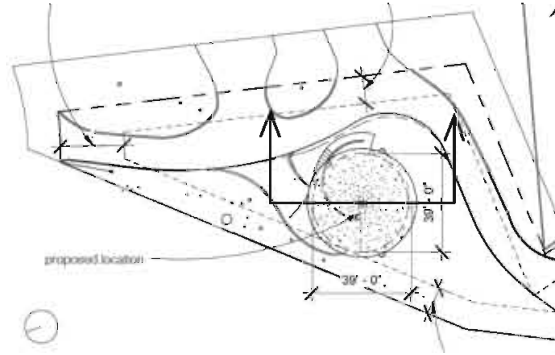
2' - 2 3/4"

11' - 6"

16' - 1"

1' - 0"

30' - 0"



0 4 8 16

A4-01

Harpel Residence 2

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Enlarged Site Sections

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7766 Torreyson Drive 90046
E-9.1 Sections

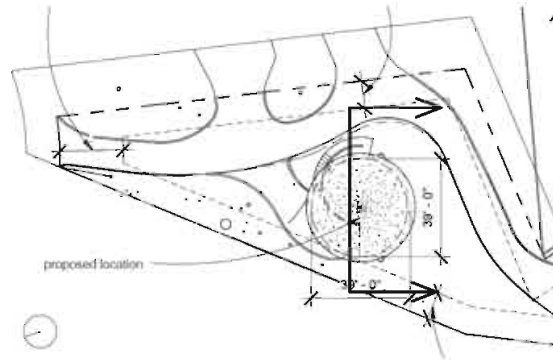
1252'
1251'
1250'
1249'
1248'
1247'
1246'
1245'
1244'
1243'
1242'
1241'
1240'
1239'
1238'
1237'
1236'
1235'
1234'
1233'
1232'
1231'
1230'
1229'
1228'
1227'
1226'
1225'
1224'
1223'
1222'
1221'
1220'

30' - 0"

19' - 1"

3' - 6"

concrete wall
existing driveway



1
A4-01

1
A4-01

baseline hillside ordinance
height limit (RE40-1)
(roof slope < 25%)

Max Bldg Height
1251' - 1"

Second Floor (Fin.)
1240' - 8"

First Floor (Fin.)
1232' - 0"

Basement / Garage
1223' - 6"

MAX BUILDING HEIGHT FROM LOWEST POINT

27' - 10"

0 4 8 16

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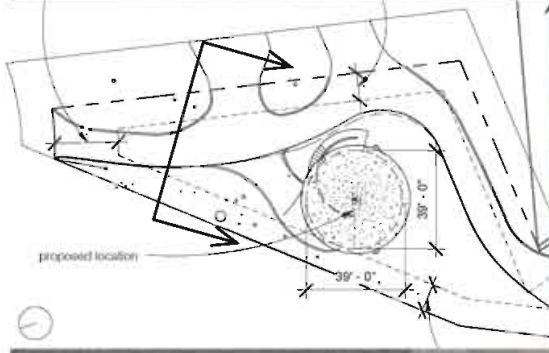
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Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Enlarged Site Sections

A4-02

7766 Torreyson Drive 90046
E-9.2 Sections



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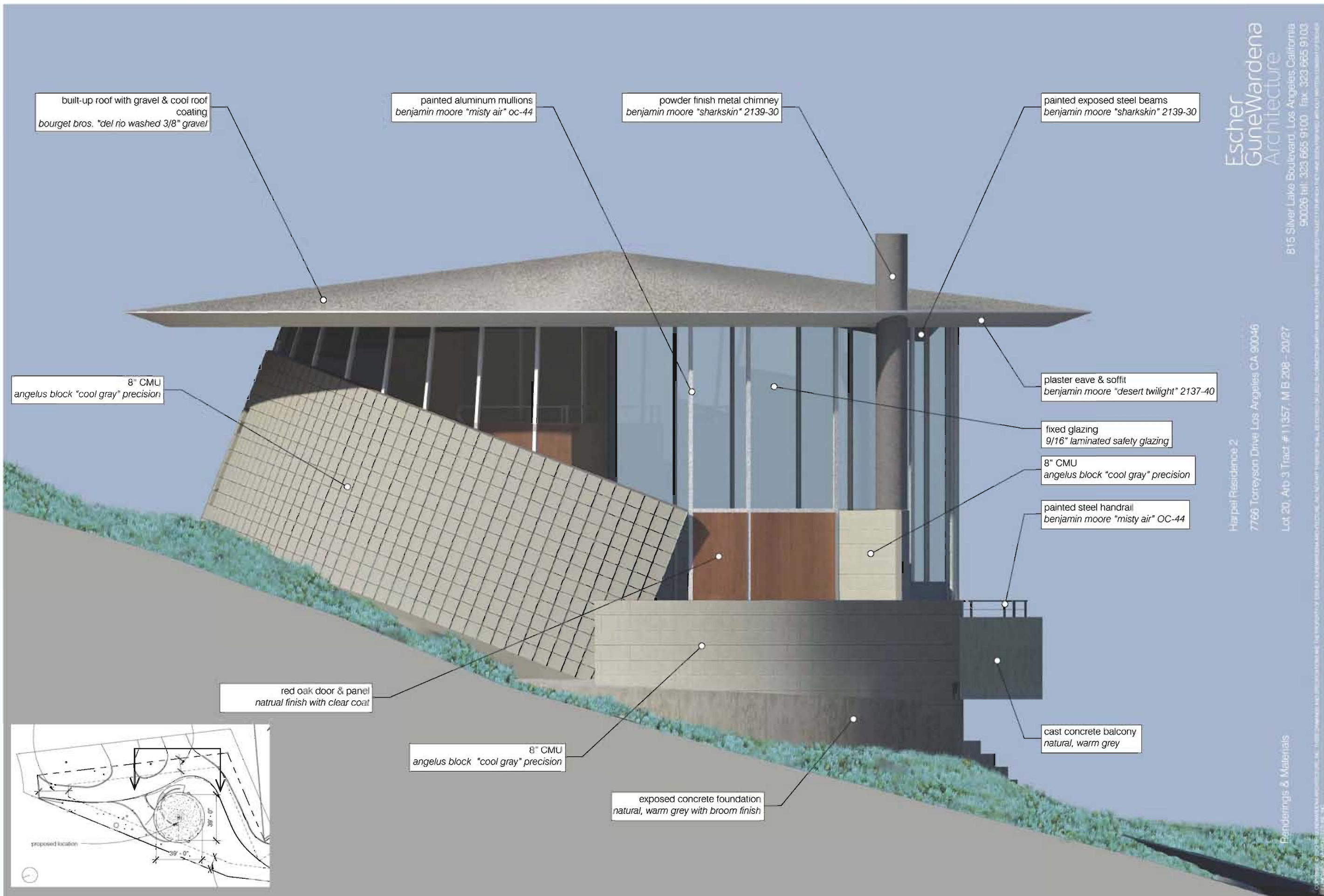
Lot 20, A/B 3 Tract #11357, M.B. 208 - 20/27

Renderings & Materials

7766 Torreyson Drive 90046
E-10.0 North Rendering



7766 Torreyson Drive 90046
E-10.1 South Rendering



built-up roof with gravel & cool roof coating
bourget bros. "del rio washed 3/8" gravel

painted aluminum mullions
benjamin moore "misty air" oc-44

powder finish metal chimney
benjamin moore "sharkskin" 2139-30

painted exposed steel beams
benjamin moore "sharkskin" 2139-30

8" CMU
angelus block "cool gray" precision

plaster eave & soffit
benjamin moore "desert twilight" 2137-40

fixed glazing
9/16" laminated safety glazing

8" CMU
angelus block "cool gray" precision

painted steel handrail
benjamin moore "misty air" OC-44

red oak door & panel
natrual finish with clear coat

8" CMU
angelus block "cool gray" precision

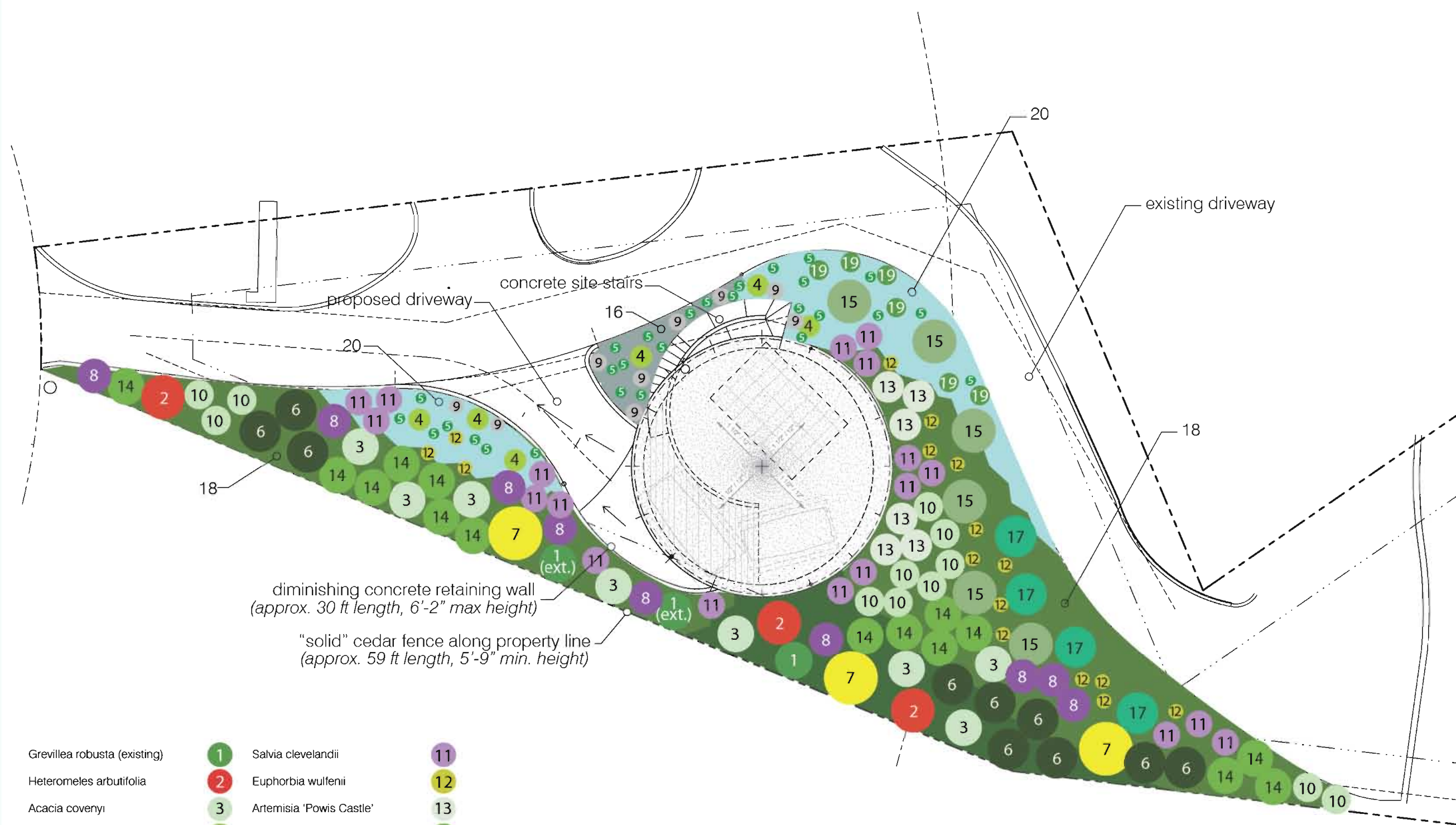
exposed concrete foundation
natural, warm grey with broom finish

cast concrete balcony
natural, warm grey

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Renderings & Materials



- | | | | |
|------------------------------|----|--------------------------------|----|
| Grevillea robusta (existing) | 1 | Salvia clevelandii | 11 |
| Heteromeles arbutifolia | 2 | Euphorbia wulfenii | 12 |
| Acacia covenyi | 3 | Artemisia 'Powis Castle' | 13 |
| Opuntia ficus-indica | 4 | Arctostaphylos 'Harmony' | 14 |
| Pachycereus marginatus | 5 | Acacia redolens | 15 |
| Ceanothus 'Dark Star' | 6 | Cerastium tomentosum | 16 |
| Fremontodendron californicum | 7 | Arctostaphylos 'Pacific Mist' | 17 |
| Echium fastuosum | 8 | Rosmarinus prostrates | 18 |
| Agave ovatifolia | 9 | Rosemary 'Huntington's Carpet' | 19 |
| Salvia apiana | 10 | Senecio mandraliscae | 20 |

7766 Torreyson Dr Planting Plan

L1-00

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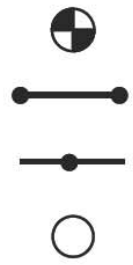
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Lot 20, Arb 3 Tract #11357, M B 208 - 20/27

Landscape Plan

7766 Torreyson Drive 90046
E-11.0 Landscape Plan

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	Common Name	Botanical Name	Container Size	Number of Plants	Size at Planting	Size at Maturity	Time to Maturity	WUCOLS Region 3
1	Silky Oak	Grevillea robusta	24" box	1	10'	40' - 60'	15 yrs	Low
2	Toyon	Heteromeles arbutifolia	5 g	3	2' x 1'	5' x 8'	8 yrs	Very Low
3	Blue Bush	Acacia covenyi	5 g	8	2'	20'	4-5 yrs	Low
4	Prickly Pear Cactus	Opuntia ficus-indica	5 g	6	2'	8'	10 yrs	Very Low
5	Mexican Fence Post	Pachycereus marginatus	2 g	28	3'	10'	7 yrs	Very Low
6	Small Leaf Mountain Lilac	Ceanothus 'Dark Star'	5 g	10	1.5' x 2'	8' x 10'	4 yrs	Low
7	California Flannel Bush	Fremontodendron californicum	5 g	3	1' x 1'	6' x 8'	4 yrs	Very Low
8	Pride of Madeira	Echium fastuosum	5 g	9	1.5' x 2'	5' x 6'	2 yrs	Low
9	Whale Tongue Agave	Agave ovatifolia 'Frosty Blue'	2 g	9	8" x 1'	3' x 4'	6 yrs	Low
10	White Sage	Salvia apiana	1 g	12	6" x 8"	4' x 5'	2 yrs	Very Low
11	Cleveland Sage	Salvia clevelandii	1 g	19	1' x 6"	3' x 5'	1 yr	Very Low
12	Spurge	Euphorbia wulfenii	1 g	16	8" x 6"	2.5' x 2.5'	1 yr	--
13	Powis Castle Sagebrush	Artemisia 'Powis Castle'	1 g	6	8" x 8"	3' x 3'	1 yr	Moderate
14	Harmony Manzanita	Arctostaphylos 'Harmony'	5 g	15	1' x 2'	3' x 6'	4 yrs	Low
15	Prostrate Acacia	Acacia redolens	5 g	6	8" x 1'	2' x 10'	6 yrs	Very Low
16	Snow-in-Summer	Cerastium tomentosum	4" pot	40	3" x 3"	5" x 3'	6 mo	Moderate
17	Pacific Mist Manzanita	Arctostaphylos 'Pacific Mist'	5 g	4	1' x 2'	2' x 6'	4 yrs	Low
18	Groundcover Rosemary	Rosmarinus prostrates	4" pot	288	3" x 3"	1' x 5'	2 yrs	Low
19	--	Rosemary 'Huntington's Carpet'	1 g	6	6" x 6"	2' x 4'	2 yrs	Low
20	Blue Chalkfingers / Kleinia	Senecio mandraliscae	4" pot	120	3" x 3"	1' x 3'	1 yr	Low

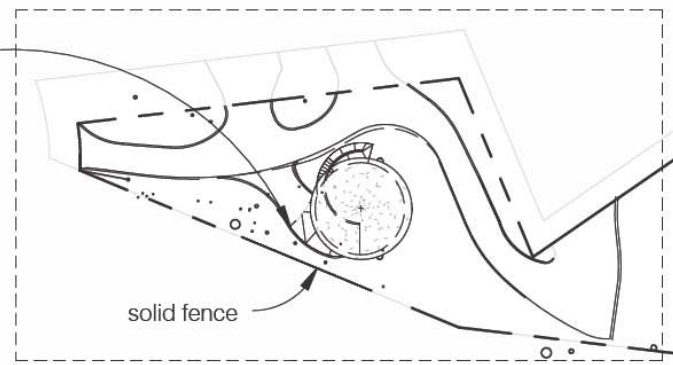
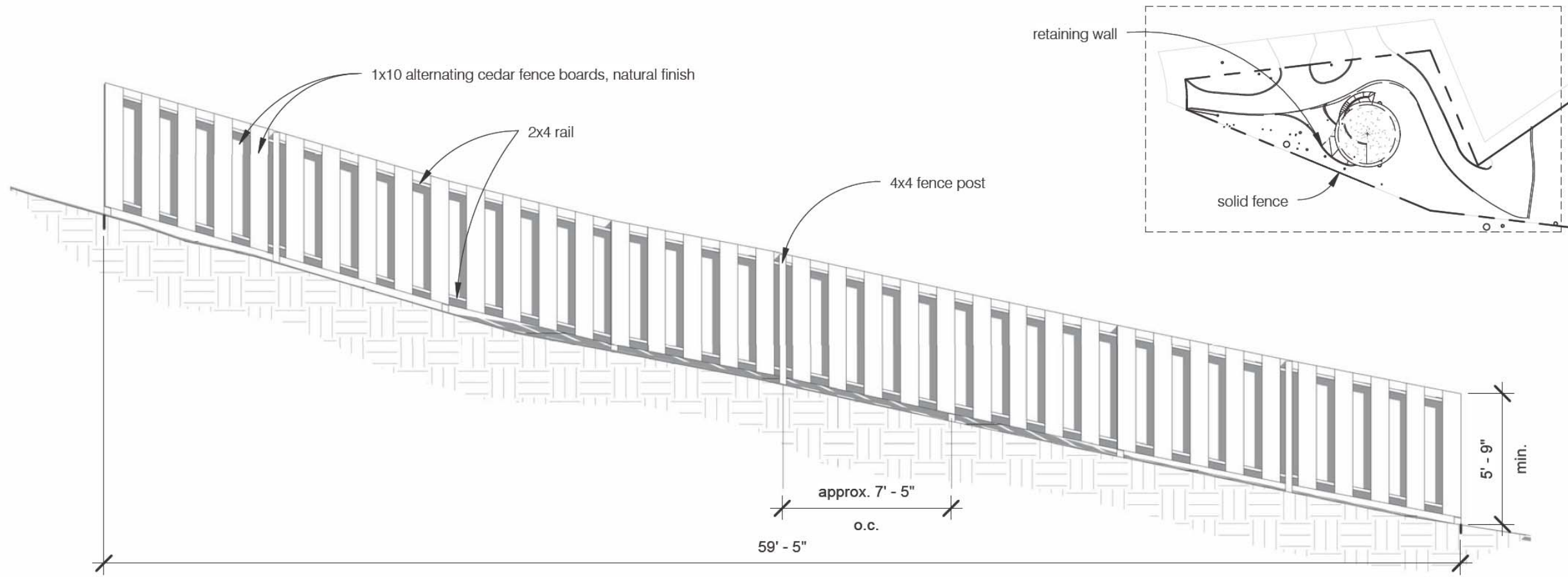


- Valves
- Irrigation Lines
- Emitter
- Moisture Sensor (12" below grade)

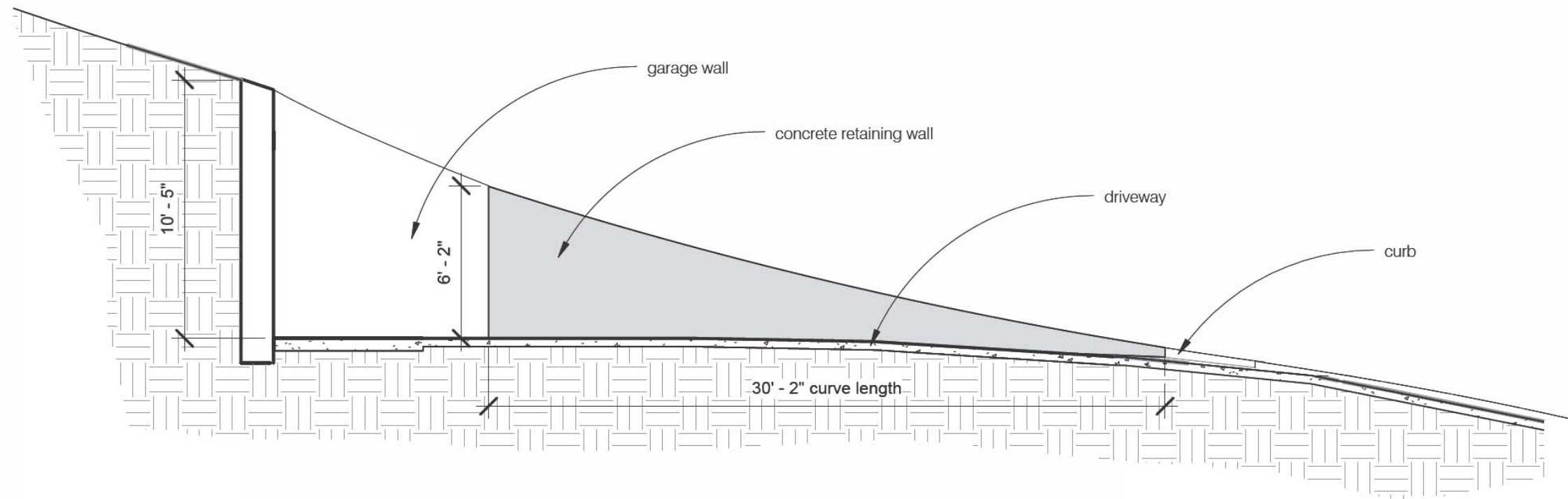


The irrigation method chosen is drip irrigation with tubing installed in a grid pattern to create and even watering of trees, shrubbery, and succulents. All plants have been chosen for their low water needs. This style of irrigation lays just below the surface and causes very little disruption of the hillside.

7766 Torreyson Dr Irrigation Plan



① Elevation - Fence
3/16" = 1'-0"



② Elevation - Retaining Wall
3/16" = 1'-0"

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Fence & Wall Specifications & Elevations

D1-00

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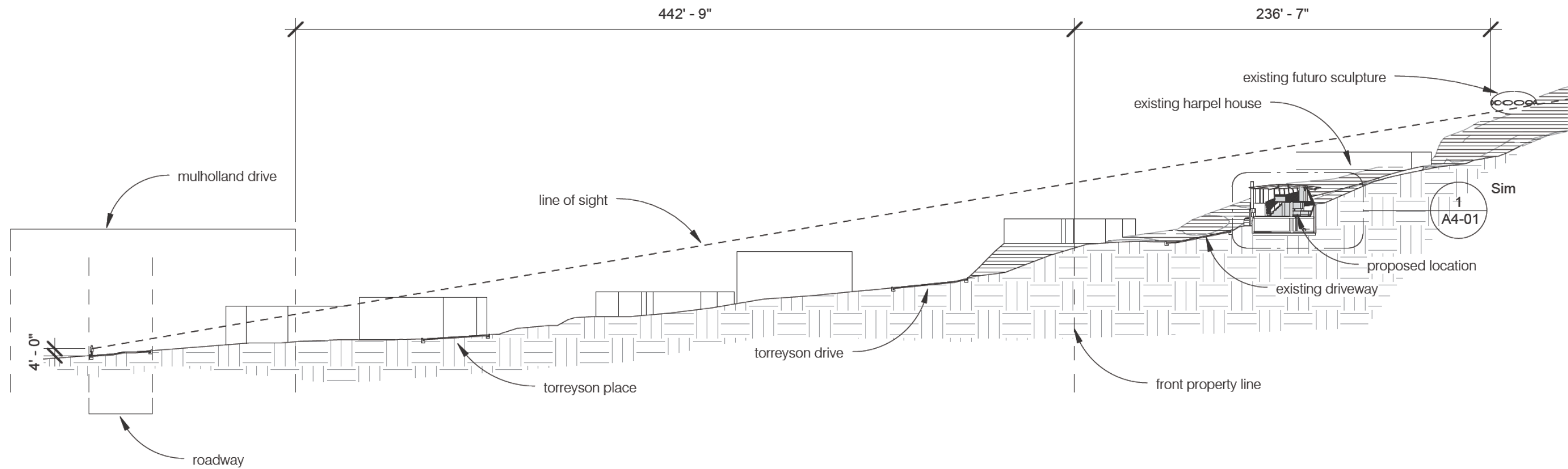
7766 Torreyson Drive 90046
E-12 Fence Plan



① Site Plan - Viewshed Analysis
1" = 100'-0"



Image Courtesy of Google



② Section - Viewshed Analysis
1/64" = 1'-0"

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Viewshed Analysis

D1-01

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7766 Torreyson Drive 90046
E-13 View / Viewshed Analysis