

# **FILING INSTRUCTIONS FOR DESIGN REVIEW**

## **Mulholland Scenic Parkway Specific Plan**

1. Read **ALL** instructions carefully.
2. Submit all materials requested. *Missing or incomplete materials cause delays.*
3. **Before** designing the project: encompasses
  - Review the text of the **Mulholland Scenic Parkway Specific Plan** and **Mulholland Design Guidelines**, available at the Planning Department website: <http://cityplanning.lacity.org> (→ General Plan → Community Plans → Specific Plans → Mulholland Scenic Parkway → Text / Maps / Design Guidelines), or for purchase at the City Planning Public Counter, 6262 Van Nuys Boulevard, Suite 251, Van Nuys, CA 91401.
  - If the project requires **moving or cutting down any protected native tree(s)** (Oak, California Black Walnut, Western Sycamore or California Bay), a protected tree removal permit will be required from the Board of Public Works once the project is approved by the Planning Department. Because of this, ***before*** a DRB hearing date is set, a **Protected Tree Report**, which takes into consideration the site plan of the proposed project, *must be prepared by a Tree Expert* (as defined in Section 12.21-A, 12 of the LAMC; see the Design and Preservation Guidelines, Appendix E, for resources to find REGISTERED Consulting Arborists in your area). ***Submit three (3) copies to the Division of Urban Forestry to be reviewed and to receive a letter of recommended mitigation.***

Contact Ron Lorenzen of **Urban Forestry** to submit the **Protected Tree Reports**, to schedule a **review of the project** and to receive a **letter** recommending the necessary mitigation for such action. This letter will be required in order to file an application for the DRB hearing. Ron may be reached at (213) 847-3073 or at 1149 South Broadway Street, 4th Floor, Los Angeles, CA 90015.
  - Determine if the project is subject to the **Hillside Ordinance** (by contacting the Dept. of Public Works) or if it is within the **Girard Tract** (by reviewing the ZIMAS parcel profile). There are building regulations which will affect your design if either (or both) are applicable.
4. **As soon as possible**, preferably at the beginning of the design process, contact City Planning Mulholland staff by phone or e-mail to:
  - Schedule a **preliminary review** to go over your project site plan and discuss any points from the Specific Plan and Design Guidelines that affect your project and,
  - Sign up for a **Design Review Board meeting**, as the soonest available opening in the schedule for your project may be several months away (schedule is available at the end of this application instruction packet).
5. **After your preliminary review** and once all materials required for filing are completed, schedule a meeting with the Mulholland staff ***two weeks prior*** and ***one week prior*** to the submittal deadline to review your application package in accordance to the Specific Plan, the Design Guidelines and the filing instructions **before** photocopies of additional sets are made.

***Please contact the Mulholland Planning Staff if you have any questions during the process:***  
Planning Staff are located at 6262 Van Nuys Boulevard, Suite 351, Van Nuys, CA 91401.  
Contact Nelson Rodriguez, (818) 374-9903 and [nelson.rodriguez@lacity.org](mailto:nelson.rodriguez@lacity.org).

## **Application Instructions and Checklist**

### **GENERAL INSTRUCTIONS**

- Each exhibit should contain all information required for that item even if the information is presented on another exhibit in the application materials.
- Label and title each exhibit.
- Include the stamp or identification of the licensed professional(s) who prepared the exhibit on the appropriate exhibit sheet.
- Reduce oversized plans to 11"x17".
- When reducing full-sized plans, choose relevant sections to copy and make font sizes large enough so they can be read at the reduced size.

**After approved by Planning Staff, provide 10 sets of all Forms, Submittal Materials and Exhibits, with the Planning submittal labels affixed and copied onto each set, and collated in the order given below. One copy will be sent to your Certified Neighborhood Council (ask the Mulholland Planning staff for the appropriate address and mailing process).**

### **CHECKLIST**

**Check to see if application contains the following documents and is organized in the order listed below:**

- ☐ **F-1** Mulholland Scenic Parkway Specific Plan Application Form
- ☐ **F-2** Referral Form for Hillside Ordinance
- ☐ **F-3** Master Land Use Permit Application Form
- ☐ **S-1** Written Narrative
- ☐ **S-2** Site Context: Photos of Site and Surrounding Area with Photo Reference Map
- ☐ **S-3** Visibility Study from Mulholland Drive
- ☐ **S-4** Vicinity Map
- ☐ **S-5** ZIMAS Map and ZIMAS Parcel Profile Report
- ☐ **S-6** Required Project Notification Materials (**Only 3 copies**—2 to Planning Staff, 1 to BTC)
  - ☐ Mailing Labels
  - ☐ Index Map
  - ☐ Perjury Statement
  - ☐ BTC Receipt
- ☐ **E-1** Neighborhood Compatibility / Parcel Map and Chart
- ☐ **E-2** Sustainability Checklist
- ☐ **E-3** Topographic Survey
- ☐ **E-4** Topographic Roof Plan
- ☐ **E-5** Grading Plan (*if applicable*)
- ☐ **E-6** Plot / Site Plan
- ☐ **E-7** Floor Plans
- ☐ **E-8** Building Elevations
- ☐ **E-9** Site Sections
- ☐ **E-10** Colored Rendering or Colored Elevations and Materials
- ☐ **E-11** Landscape Planting and Irrigation Plan
- ☐ **E-12** Fence / Wall / Gate Specifications and Elevations (*if applicable*)
- ☐ **E-13** Viewshed Analysis (*if applicable*)
- ☐ **E-14** Decision Letter(s) (*if applicable*)

#### **Other Materials (*if applicable*)**

- ☐ Protected Tree Report—**10 copies**
- ☐ Urban Forestry's Recommendation for Protected Tree Mitigation—**10 copies**
- ☐ Soils/Geology report—**3 copies**
- ☐ Biology Report—**3 copies**

## **APPLICATION MATERIALS**

### **FORMS for NEW CASES (F-1 thru F-3)**

**F-1 MULHOLLAND SCENIC PARKWAY SPECIFIC PLAN APPLICATION FORM**

☐ Two pages completed by the applicant

**Note:** *The Proposed Project Description should read as follows:*

**For Additions:**

(Demolition of a # square-foot structure and a) Construction of a # square-foot addition, to an existing # square-foot (including a detached/attached #-car garage), #-story, single-family residence, for a total of # square-feet, on a # square-foot lot. The maximum project height is # feet, # inches. The project is in the outer/inner corridor, downslope/upslope, visible/not visible from Mulholland Drive, is/is not subject to the requirements of the Hillside Ordinance, and is/is not within the Girard Tract.

**For New Construction:**

(Demolition of a # square-foot structure and a) Construction of a new, # square-foot (including a detached/attached #-car garage), #-story, single-family residence, on a # square-foot lot. The maximum project height is # feet, # inches. The project is in the outer/inner corridor, downslope/upslope, visible/not visible from Mulholland Drive, is/is not subject to the requirements of the Hillside Ordinance, and is/is not within the Girard Tract.

**F-2 REFERRAL FORM FOR HILLSIDE ORDINANCE, Dept. of Public Works**

☐ Filled-in by the Department of Public Works, 6262 Van Nuys Boulevard, Suite 251, "B" Permit Counter, (818) 374-5090. If a street dedication is required, show it on the plot/site plan, and show the building setback from this dedication line.

**F-3 MASTER LAND USE PERMIT APPLICATION FORM (submit the original plus 9 copies)**

☐ Completed and signed by the property owner(s) of record (on ZIMAS printout)

☐ Notarized

## **SUBMITTAL MATERIALS for NEW CASES (S-1 thru S-6)**

### **S-1 WRITTEN NARRATIVE (two to three paragraphs):**

- ☐ **Proposed Project Description:**
  - Property Address
  - Square footage of new construction or additions (if applicable, including the square footage of the proposed new garage)
  - Square footage of existing building (if applicable, including the square footage of existing garage)
  - Whether subject to the Hillside Ordinance and/or within the Girard Tract
  - Number of stories
  - Number of parking spaces
  - Square footage of the lot (lot size)
  - Percentage of floor area to lot size (current floor area plus proposed additional floor area of all structures, minus 400 square feet for the garage divided by the lot size)
  - Hardscape (description and square footage)
  - Style and articulation of the building mass, including design details such as recessed windows
- ☐ **Explain how your project is consistent with the Specific Plan design criteria and guidelines.**
  - Look through the Design and Preservation Guidelines and identify those guidelines that apply to your project.
  - Explain how your project meets the applicable guideline or what about the project makes it consistent with the guideline (e.g., the height requirement is 15 feet and the proposed structure is 13 feet).
  - Explain why your proposed project is compatible with the neighborhood.
  - *Explain which sustainable building practices will be used to construct and operation the proposed structure.*

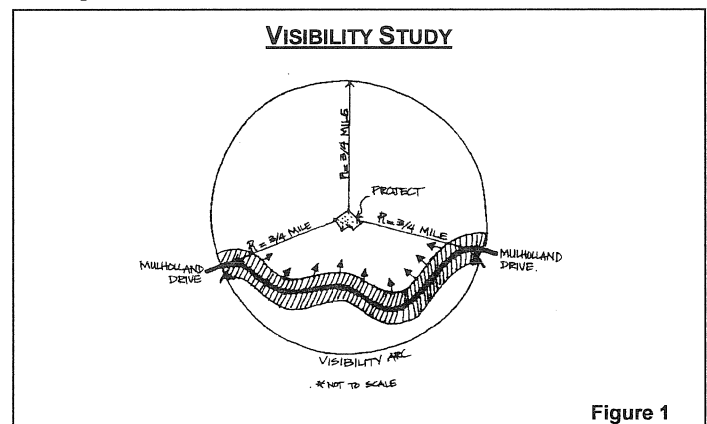
### **S-2 SITE CONTEXT: PHOTOS OF SITE AND SURROUNDING AREA WITH PHOTO REFERENCE MAP**

- ☐ **Photographs:** Minimum of five photos of the project site, five photos of the surrounding areas, and five photos of the surrounding buildings.
- ☐ **Reference Map:** Map indicating with arrows from where and in what direction the photos were taken.

### **S-3 VISIBILITY STUDY FROM MULHOLLAND DRIVE: COLOR PHOTOGRAPHS AND REFERENCE MAP**

**Note:** *To determine project visibility from Mulholland Drive, a minimum of 5 lines of sight from Mulholland Drive toward the project within a ¼-mile radius of the project should be included in the visibility study. The study should not be limited to an angle of view that is perpendicular to the roadway. (see Figure 1)*

- ☐ A minimum of five photographs, preferably including a photograph taken from each of the two points where the arc crosses Mulholland Drive and any locations from which there is a line of site to the project from Mulholland Drive.
- ☐ Reference photographs to the map, indicating from where and in what direction the photos were taken.
- ☐ Mark on each photograph:
  - **Visible:** If the project is visible from Mulholland Drive mark with an arrow the location of the project and write "visible."
  - **Not-Visible:** If the project is not visible from Mulholland Drive, mark with an arrow the location of the feature in front of it with an arrow and write "not visible due to (e.g., the hill in front, other development)".



**Figure 1**



**Filing Instructions: New DRB Cases**

**S-4 VICINITY MAP** (maps from Google, Mapquest, etc. are preferred):

- ☐ Scale
- ☐ Directional arrow
- ☐ Location of the project site in relation to nearby streets

**S-5 ZIMAS MAP AND ZIMAS PARCEL PROFILE REPORT:** (not the parcel profile from LADBS)

Available on the Planning Department website: <http://zimas.lacity.org/>

Zoning Information → Zone Information and Map Access System (ZIMAS) → type in the address or parcel number (APN) → click map → click create report  
or available from the Mulholland Staff.

**S-6 REQUIRED PROJECT NOTIFICATION MATERIALS:**

**Note:** *Applicant is required to (A) post onsite 5 days before the DRB hearing and (B) notify all owners and occupants of abutting properties, which are both handled through the City's mailing contractor, BTC. We strongly advise applicants to use BTC for both the mailing and the posting in order to obtain an objective third party confirmation of these events. See the mailing instructions form for more information.*

Provide 2 copies of the following material to City Planning and 1 copy to BTC.

- ☐ **Mailing labels** of names and addresses of the following:
  - Applicant(s) / project's property owner(s)
  - Project representative(s)
  - Owners of abutting properties
  - Occupants of abutting properties (if different from the owner)
- ☐ **Index Map** showing locations of abutting properties and keyed to the Mailing Labels
- ☐ **Perjury Statement**, signed and dated
- ☐ **BTC Receipt**, showing payment for mailing and posting (dated within 90 days of the submission date for the application or continued application).

**EXHIBITS for NEW CASES (E-1 thru E-14)****E-1 NEIGHBORHOOD COMPATIBILITY / PARCEL MAP AND CHART**

- ☐ Ask the Planning Staff to print a 100-foot radius map from ZIMAS to use as a reference map.
- ☐ Include a chart or table indexed to the reference map for the closest 10 homes surrounding the project site, or all homes within a 100-foot radius, whichever results in the greater number of existing homes being shown.

**Notes:** Use the template below to create a Neighborhood Compatibility Chart (Table 1).

*In order to be comparable with the square footages used for neighboring buildings found on ZIMAS, when inputting your building's square footage, deduct the square footage for the garage or 400 square feet—whichever amount is less.*

*Use the Address/Legal Information for Lot Size and the Assessor Information for the Building Square Footage.*

	Reference #	Property Address (or APN)	Building Square Footage	Lot Size (lot square footage)	Floor Area Ratio (FAR) (building square footage divided by the lot size)
Individual Properties	1		3,502	12,321	28.4%
	2		3,409	12,121	28.1%
	3		3,024	14,552	20.8%
	4		4,930	8,623	57.2%
	5		2,101	10,372	20.3%
	6		2,098	10,573	19.8%
	7		3,932	10,982	35.8%
	8		4,200	9,012	46.6%
	9		2,304	12,043	19.1%
	10		3,029	11,983	25.3%
	# of Buildings Included in the Analysis		Average Building Square Footage	Average Lot Size	Average FAR (use the lot coverage values above, not the averages, for each property to find the average for the neighborhood)
Neighborhood Averages	10		3,252.9	11,258.2	30.1%
Proposed Project		Property Address (or APN)	Building Square Footage	Lot Size	FAR (building square footage divided by the lot size)

Table 1

**E-2 SUSTAINABILITY CHECKLIST**

- ☐ Provide a sustainability checklist, or demonstrate through the drawings and a written summary how the proposed project seeks to reduce energy and water consumption. The checklist should include all elements of sustainable building practices including, planning & design, storm water & site management, water efficiency, energy usage, materials conservation & resource efficiency and how the project intends to implement such practices.
- ☐ If a sustainability checklist is used, one from a recognized third-party verification provider is preferred, including, but not limited to, LEED and Build-It-Green. If no recognized third-party verification process provides an applicable sustainability checklist **speaK with staff to discuss alternatives**.
- ☐ If drawings are used, all relevant information relating to the sustainable building practices is to be included on the appropriate drawing.

**E-3 TOPOGRAPHIC SURVEY**

- ☐ The stamp, signature, and date of the licensed surveyor or civil engineer are to be copied onto the reduced topographic base map
- ☐ Show **all existing trees**, labeled with their species and diameter

**E-4 TOPOGRAPHIC ROOF PLAN**

Superimpose the proposed roof plan on the certified topographic survey. The roof plan must be labeled with:

- ☐ Slope of roof
- ☐ **Lowest elevation** (within five feet of the perimeter of the building)
- ☐ **Highest elevation** (at the peak of the roof ridge)
- ☐ Roofing material
- ☐ Manufacturer's name
- ☐ Color, name, and number

If skylights are proposed, show:

- ☐ Location, dimensions, and square footage for each skylight
- ☐ Manufacturer
- ☐ Model
- ☐ Glazing
- ☐ Total square footage for the skylights and total percentage of roof coverage for the skylights

**E-5 GRADING PLAN** (if grading or any modification to the foundation is proposed)

**Note:** *Verify with the Department of Building & Safety (LADBS) for the permitted number and size of each retaining wall.*

The grading plan must show:

- ☐ All existing retaining walls (identifying the top and bottom of all walls)
- ☐ All proposed retaining walls (identifying the top and bottom of all walls)
- ☐ Cubic yards of cut, fill, export and/or import (as applicable)
- ☐ Proposed drainage system

If a grading permit will be required by Building and Safety, submit:

- ☐ **3 copies of a Geology and Soils Report**

**E-6 PLOT / SITE PLAN** (Please follow Los Angeles City Planning Department Plot Plan Instructions provided in this package). The site plan must show:

- ☐ Footprint of existing structures
  - ☐ Footprint of proposed project
  - ☐ All existing trees, labeled with their species and diameter
  - ☐ Location of required parking spaces (not including the garage)
  - ☐ A **Project Profile** that contains the following information:
- |                          |               |   |
|--------------------------|---------------|---|
| Lot Size                 | _____ sq. ft. |   |
| Floor Area               | _____ sq. ft. | _____ Floor Area Ratio (Floor Area / Lot Size)                            |
| Building Footprint       | _____ sq. ft. | _____ % of Lot Coverage (Building Footprint / Lot Size)                   |
| Hardscape                | _____ sq. ft. | _____ % of Total Lot Coverage (Hardscape + Building Footprint / Lot Size) |
| Number of Parking Spaces | _____         |   |

**Note:** *Hardscape is defined as elements within the landscape which are impermeable. These elements would include solid concrete paving (or tile, brick, wood, or stonework), decomposed granite or gravel beds (with binding agent) or any constructed water features, including pools and fountains.*

**E-7 FLOOR PLANS**

For each floor or level, show:

- ☐ Dimensions
- ☐ Square-footage calculations

**Note:** *Square footage calculations must use the definition for Residential Floor Area, (Sec. 12.03)*

**E-8 BUILDING ELEVATIONS** (measured per Department of Building and Safety requirements LAMC Sec 12.03). For all facades, show:

- ☐ Dimensions
- ☐ Building heights (including total height)
- ☐ Indicate the lowest elevation within 5 feet of the perimeter of the building
- ☐ Indicate the highest elevation at the peak of the roof ridge
- ☐ All exterior or outdoor lighting (*if applicable*)

For each **material or different color**, show:

- ☐ Material
- ☐ Manufacturer's name
- ☐ Color name and number

**E-9 SITE SECTIONS**

**Note:** *Verify with the Department of Building & Safety (LADBS) for the permitted number and size of each retaining wall. If the project is located in the Inner Corridor, extend the section(s) to Mulholland Drive. (Please also see Viewshed Analysis, E-12.)*

For each section and retaining wall, show:

- ☐ Height of building
- ☐ Height of any retaining walls
- ☐ Lot contour and elevation lines

**E-10 COLORED RENDERING OR COLORED ELEVATIONS AND MATERIALS**

On a colored rendering of the proposed project, list and identify:

- ☐ Material(s)
- ☐ Manufacturer's name(s)
- ☐ Color name and number(s)

**E-11 LANDSCAPE PLANTING AND IRRIGATION PLAN**

**Note:** *Please refer to the guidelines in the Landscape section of the Mulholland Specific Plan Design Guidelines and the preferred planting list when developing your project.*

- ☐ Include any existing planting scheme to remain
- ☐ Show proposed planting scheme indexed to the Planting Legend
- ☐ If oak trees or other native trees are to be removed or impacted, show and label the location and size of replacement trees of the same species and submit **10 copies** of a **Protected Tree report** prepared by a Tree Expert, as defined in Section 12.21.A.12 of the LAMC, as well as a letter from Urban Forestry recommending the necessary mitigation
- ☐ Include a proposed irrigation plan
- ☐ Show all exterior or outdoor lighting (*if applicable*)
- ☐ Show fencing, gates, pool, and other mechanical equipment enclosures, stairs, patios and exterior structures
- ☐ Water Use Classification of Landscape Species (WUCOLS) can be found at the California Department of Water Resources website. (search for: A Guide to Estimating Irrigation Needs)
- ☐ Include a **Planting Legend**, which should read as follows:

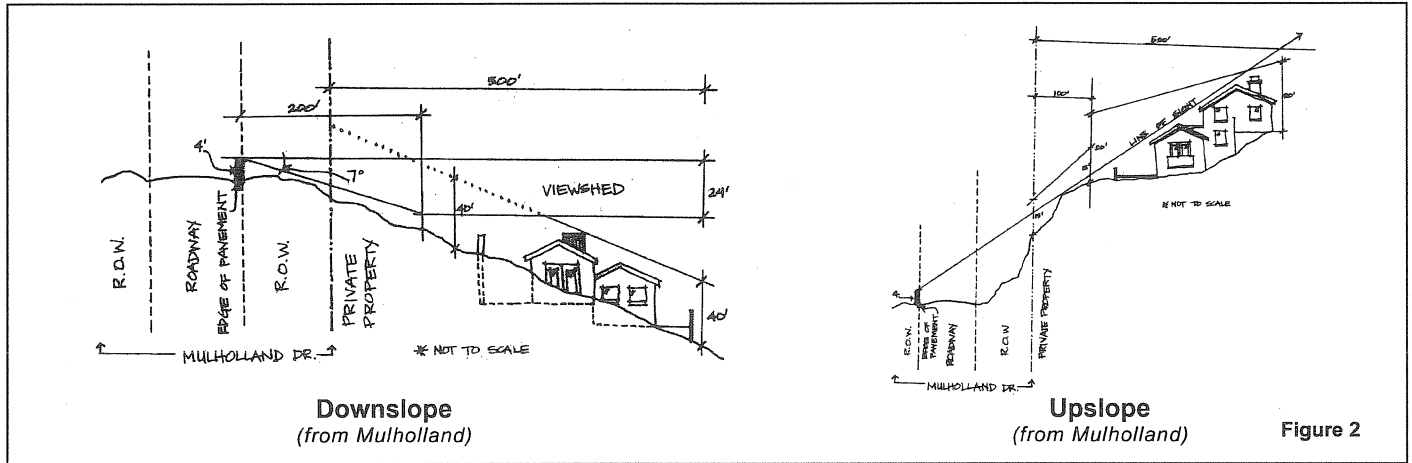
Reference Number (to Correspond with Plan)	Common Plant Name	Botanical Plant Name	Container Size (i.e., 15 gal., or 36" box, etc.)	Number to be Planted	Height and Width (at Full Maturity)	Years to Reach Maturity	Water Use Classification of Landscape Species (WUCOLS)
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**E-12 FENCE / WALL / GATE SPECIFICATIONS AND ELEVATIONS** (if applicable)

- ☐ Height
- ☐ Materials
- ☐ Manufacturer color name and number

### E-13 VIEWSHED ANALYSIS

A viewshed analysis shall be prepared for any project located in the Inner Corridor and is visible from Mulholland. The viewshed analysis aids in determining the maximum building height which would not negatively impact the view. Project height which is as far beneath the viewshed limit as possible is preferred. (see Figure 2 for how to conduct viewshed analysis)



**Note:** Topographic elevations should match those on the topographic survey. Show on the topographic survey, where the section is taken. One study section should be from the lowest elevation of the property on Mulholland Drive.

**E-14 DECISION LETTER(S)** on related discretionary cases (e.g., zone variances) or the completed bond application if street improvements are required and no variance has been obtained.

**Items to be completed at the time of submitting application at the Planning Public Counter, Suite 251:**

- ☐ **Environmental Documentation:** Confirm with Mulholland Planning Staff the type of environmental clearance needed for the project. The environmental clearance form will be issued by the planning counter staff at the Suite 251, 6262 Van Nuys Boulevard, when the case is submitted.
- ☐ **Fees** are set by section 19.01 Q of the Los Angeles Municipal code. Checks should be made payable to the City of Los Angeles. (A copy of the most recent fee schedule can be obtained at the Planning Public Counter, Suite 251, 6262 Van Nuys Boulevard.)

**OTHER MATERIALS (If applicable)**

Provide **copies** of the following (when required by City Planning staff):

- Protected Tree Report by a Tree Expert, as defined in Section 12.21-A,12 of the LAMC (required for projects affecting protected native trees. See the Preservation and Design Guidelines, Appendix E, for resources to find registered experts near you)—**10 copies**
- Urban Forestry's Recommendation for Protected Tree Mitigation for projects moving or removing protected tree(s) (Oak, California Black Walnut, Western Sycamore or California Bay) —**10 copies**
- Soils/Geology for projects with grading or any modification to the foundation—**3 copies**
- Biology Report for projects within 100 feet of designated streams—**3 copies**
- Archeological / Palaeontological data—**3 copies**

**DESIGN REVIEW BOARD MEETING**

Please bring one presentation size copy of each of the following to the meeting:

- ☐ **Color chips and materials board** (if a light color is presented, bring an alternate color scheme using deeper tones)
- ☐ **Display drawings and photographs**
- ☐ **Original size plans, drawings, and/or models**

**Speaker Cards:** Please remember that you need to fill-in a speaker card before presenting the project before the Design Review Board (DRB). Speaker cards will be provided at the DRB meeting.

# MULHOLLAND SCENIC PARKWAY SPECIFIC PLAN

## APPLICATION FORM

Los Angeles Department of City Planning

ZI 1224, Ord. Number: 167,943

### FOR DEPARTMENTAL USE ONLY

Application OK for filing on \_\_\_\_\_ by \_\_\_\_\_

Size (total existing) \_\_\_\_\_ sq. ft. (total proposed) \_\_\_\_\_ sq. ft.

Demolition \_\_\_\_\_ sq. ft. Addition \_\_\_\_\_ sq. ft.

Garage \_\_\_\_\_ sq. ft. \_\_\_\_\_ Car(s) Attached/Detached

Lot size \_\_\_\_\_ sq. ft. FAR \_\_\_\_\_ Height \_\_\_\_\_ Council District \_\_\_\_\_

Inner / Outer / Institutional Upslope / Downslope Visible / Non-Visible

Girard Tract Hillside

### Application Type:

- ☐ Preliminary Design Review
- ☐ Design Review / Project Permit Compliance
- ☐ Continued Design Review
- ☐ Design Review / Project Permit Compliance Modification
- ☐ Project Permit Adjustment

### Project Type:

- ☐ New Construction
- ☐ Addition
- ☐ Remodel
- ☐ Other: \_\_\_\_\_

Project Address: \_\_\_\_\_

Assessor Parcel Number: \_\_\_\_\_

Proposed Project Description: (describe in detail, including ALL proposed work and dimensions)

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### Representative(s)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

### Applicant(s) / Property Owner(s)

Name: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone: \_\_\_\_\_

Fax: \_\_\_\_\_

Email: \_\_\_\_\_

1. **Property Description:**  
# of Existing lots: \_\_\_\_\_ # of Proposed lots: \_\_\_\_\_ Total Lot Area: \_\_\_\_\_ sq. ft.
2. **Property Location:** Is the project in the following? (check all that apply)  
☐ Inner Corridor (up to 500 feet from the Mulholland right-of-way),  
☐ Within 100 feet of Mulholland  
☐ Institutional Corridor  
☐ Outer Corridor (from 500 to 2,640 feet from the Mulholland right-of-way)  
☐ Girard Tract (see the ZIMAS parcel profile, S-5)  
☐ Hillside Ordinance (see Hillside referral form obtained from Public Works, F-2)
3. **Property Orientation:**  
*Note: In the event that a property contains elevations that are both upslope and downslope from Mulholland Drive right-of-way, the highest elevation of the building pad should be compared to the lowest elevation of the Mulholland Drive right-of-way contiguous to the property, in order to afford the greatest viewshed protection.*  
☐ Upslope (higher in elevation than Mulholland Drive)  
☐ Downslope (lower in elevation than Mulholland Drive)
4. **Project Visibility:** Is the project visible from Mulholland Drive? Yes \_\_\_\_ No \_\_\_\_
5. **Viewshed Penetration:** Does the project penetrate the viewshed? Yes \_\_\_\_ No \_\_\_\_
6. **Access:** Does the project alter access onto the Mulholland Right-of-way? Yes \_\_\_\_ No \_\_\_\_
7. **Improved Street Width:**  
Improvement required: Yes \_\_\_\_ No \_\_\_\_ Street dedication required: \_\_\_\_\_ ft.
8. **Environmental Protection Measures:** Is the project...  
☐ On a prominent ridge  
☐ Within 50 vertical feet of a prominent ridge  
☐ Within 200 feet of a public parkland  
☐ Within 100 feet of a stream bank
9. **Project Size:**  
Existing Structure(s), excluding existing garage: \_\_\_\_\_ sq. ft.  
Demolition, of existing structure (excluding garage): \_\_\_\_\_ sq. ft.  
Proposed New Construction, including all additions and outdoor covered areas such as balconies and porches, but excluding proposed garage and existing structure: \_\_\_\_\_ sq. ft.  
Garage (enclosed or covered carport, existing or proposed): \_\_\_\_\_ sq. ft.  
Total structure(s), existing, proposed and garage, minus demolition: \_\_\_\_\_ sq. ft.  
Lot Coverage (building footprint of all structures divided by lot sq. ft.): \_\_\_\_\_ %  
Floor Area Ratio (FAR) (total floor area minus 400 sq. ft. divided by lot sq. ft.): \_\_\_\_\_ %  
Total Hardscape (impermeable surfaces including, but not limited to, paving and constructed water features. See Filing instructions page 7 for more information): \_\_\_\_\_ sq. ft.  
Total Lot Coverage (building footprint and hardscape divided by lot sq. ft.): \_\_\_\_\_ %
10. **Project Building Height** (as defined by the Dept. of Building and Safety):  
Existing structure: \_\_\_\_\_ ft.  
Proposed structure: \_\_\_\_\_ ft.
11. **Grading:** How many cubic yards of cut and/or fill is involved?  
Cut: \_\_\_\_\_ cubic yards Export: \_\_\_\_\_ cubic yards  
Fill: \_\_\_\_\_ cubic yards Import: \_\_\_\_\_ cubic yards
12. **Sustainability:** Does the project incorporate sustainable building practices? Yes \_\_\_\_ No \_\_\_\_
13. **Existing Trees:**  
Does the project propose moving or cutting down any Oak, California Black Walnut, Western Sycamore or California Bay trees?  
Yes \_\_\_\_ No \_\_\_\_  
Number of Oak trees to be cut down? \_\_\_\_\_ To be moved? \_\_\_\_\_  
Number of other native trees to be cut down? \_\_\_\_\_ To be moved? \_\_\_\_\_



DEPARTMENT OF BUILDING AND SAFETY/ DEPARTMENT OF PUBLIC WORKS  
PRELIMINARY REFERRAL FORM FOR HILLSIDE ORDINANCE #168,159 & #174,652

Building and Safety

Date: 12/08/2008

PIN: 159B149-354

Address: 14600 W MULHOLLAND DR

Applicant: \_\_\_\_\_

District Map: 159B149 Tract: TR 1000

Project Description: \_\_\_\_\_

Block: Lot: 1109

Phone: \_\_\_\_\_

Fax: \_\_\_\_\_

Public Works: "B-Permits Counter"

**Vehicular Access:** (for exceptions per 12.21A17(i))

1. Is the Continuous Paved Roadway (CPR)\* at least 28ft wide from the driveway apron of the subject lot to the boundary of the Hillside Area?

☐ Yes ☐ No

If "YES", S T O P , project is exempt from the Hillside Ordinance.

If "NO", answer ALL of the following questions:

2. Is the CPR at least 20ft wide, from the driveway apron of the subject lot to the boundary of the Hillside Area?

☐ Yes ☐ No

3. Is the street adjacent to the subject lot at least 20ft wide?

(Note: all streets adjacent to a lot must be considered when the lot has multiple street frontages, such as a corner lot or a through lot.)

☐ Yes ☐ No

\* CPR = begins at the driveway apron and must be continuous and without permanent obstacles to the boundary of the Hillside Area.

If "2" and "3" are Yes: COMPLY WITH HILLSIDE ORD. ZA APPROVAL IS NOT REQ'D

If "2" or "3" are No: REFER TO PLANNING FOR APPROVAL PER 12.24X21

**Street Type:** (for front yards and street improvements, per 12.21A17(a) and (e))

1st Street Name: \_\_\_\_\_ R/W width: \_\_\_\_\_ Roadway width: \_\_\_\_\_

☐ Lot fronts on a standard hillside limited street

☐ Dedication required width: \_\_\_\_\_

Plan Index: \_\_\_\_\_

☐ Lot fronts on a sub standard hillside limited street

☐ Improvement required

Comments: \_\_\_\_\_

2nd Street Name: \_\_\_\_\_ R/W width: \_\_\_\_\_ Roadway width: \_\_\_\_\_

☐ Lot fronts on a standard hillside limited street

☐ Dedication required width: \_\_\_\_\_

Plan Index: \_\_\_\_\_

☐ Lot fronts on a sub standard hillside limited street

☐ Improvement required

Comments: \_\_\_\_\_

**Sewer Connection:**

Lot located less than 200 ft from sewer mainline:

☐ Use existing wye and permit

☐ Obtain new connection and new permit

☐ Use existing wye, obtain new permit

☐ Obtain B-Permit from PW/BOE to construct new mainline

Lot located greater than 200 ft from sewer mainline:

☐ Obtain LADBS approval for on-site sewer

☐ Obtain B-Permit from PW/BOE to construct new mainline

Public Works Employee completing this form:

Sign: \_\_\_\_\_ Print Name: \_\_\_\_\_

Date: \_\_\_\_\_ Phone: \_\_\_\_\_ Location: \_\_\_\_\_

\* The final determination of Hillside Ordinance applicability shall be made after any and all dedication/improvements (if required) have been made.

**MASTER LAND USE PERMIT APPLICATION**  
**LOS ANGELES CITY PLANNING DEPARTMENT**

*Planning Staff Use Only*

ENV No.	Existing Zone	District Map
APC	Community Plan	Council District
Census Tract	APN	Staff Approval*
		Date

\* Approval for Filing by Community Planning or Division of Land Staff, When Applicable

CASE No. \_\_\_\_\_

APPLICATION TYPE \_\_\_\_\_  
(zone change, variance, conditional use, tract/parcel map, specific plan exception, etc.)

**1. PROJECT LOCATION AND SIZE**

Street Address of Project \_\_\_\_\_ Zip Code \_\_\_\_\_

Legal Description: Lot \_\_\_\_\_ Block \_\_\_\_\_ Tract \_\_\_\_\_

Lot Dimensions \_\_\_\_\_ Lot Area (sq. ft.) \_\_\_\_\_ Total Project Size (sq. ft.) \_\_\_\_\_

**2. PROJECT DESCRIPTION**

Describe what is to be done: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Present Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_

Plan Check No. (if available) \_\_\_\_\_ Date Filed: \_\_\_\_\_

Check all that apply:

☐ New Construction

☐ Change of Use

☐ Alterations

☐ Demolition

☐ Commercial

☐ Industrial

☐ Residential

☐ LEED Silver

Additions to the building:

☐ Rear

☐ Front

☐ Height

☐ Side Yard

No. of residential units:

Existing \_\_\_\_\_

To be demolished \_\_\_\_\_

Adding \_\_\_\_\_ Total \_\_\_\_\_

**3. ACTION(S) REQUESTED**

Describe the requested entitlement which either authorizes actions **OR** grants a variance:

Code Section from which relief is requested: \_\_\_\_\_ Code Section which authorizes relief: \_\_\_\_\_

\_\_\_\_\_

Code Section from which relief is requested: \_\_\_\_\_ Code Section which authorizes relief: \_\_\_\_\_

\_\_\_\_\_

Code Section from which relief is requested: \_\_\_\_\_ Code Section which authorizes relief: \_\_\_\_\_

\_\_\_\_\_

List related or pending case numbers relating to this site:

\_\_\_\_\_

**4. OWNER/APPLICANT INFORMATION**

Applicant's name \_\_\_\_\_ Company \_\_\_\_\_

Address: \_\_\_\_\_ Telephone: (     ) \_\_\_\_\_ Fax: (     ) \_\_\_\_\_

\_\_\_\_\_ Zip: \_\_\_\_\_ E-mail: \_\_\_\_\_

Property owner's name (if different from applicant) \_\_\_\_\_

Address: \_\_\_\_\_ Telephone: (     ) \_\_\_\_\_ Fax: (     ) \_\_\_\_\_

\_\_\_\_\_ Zip: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contact person for project information \_\_\_\_\_ Company \_\_\_\_\_

Address: \_\_\_\_\_ Telephone: (     ) \_\_\_\_\_ Fax: (     ) \_\_\_\_\_

\_\_\_\_\_ Zip: \_\_\_\_\_ E-mail: \_\_\_\_\_

**5. APPLICANT'S AFFIDAVIT**

Under penalty of perjury the following declarations are made:

- a. The undersigned is the owner or lessee if entire site is leased, or authorized agent of the owner with power of attorney or officers of a corporation (submit proof). (NOTE: for zone changes lessee may not sign).
- b. The information presented is true and correct to the best of my knowledge.

Signature: \_\_\_\_\_

Print: \_\_\_\_\_

**ALL-PURPOSE ACKNOWLEDGMENT**

State of California

County of \_\_\_\_\_

On \_\_\_\_\_ before me, \_\_\_\_\_

(Insert Name of Notary Public and Title)

personally appeared \_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

\_\_\_\_\_  
Signature (Seal)

**6. ADDITIONAL INFORMATION/FINDINGS**

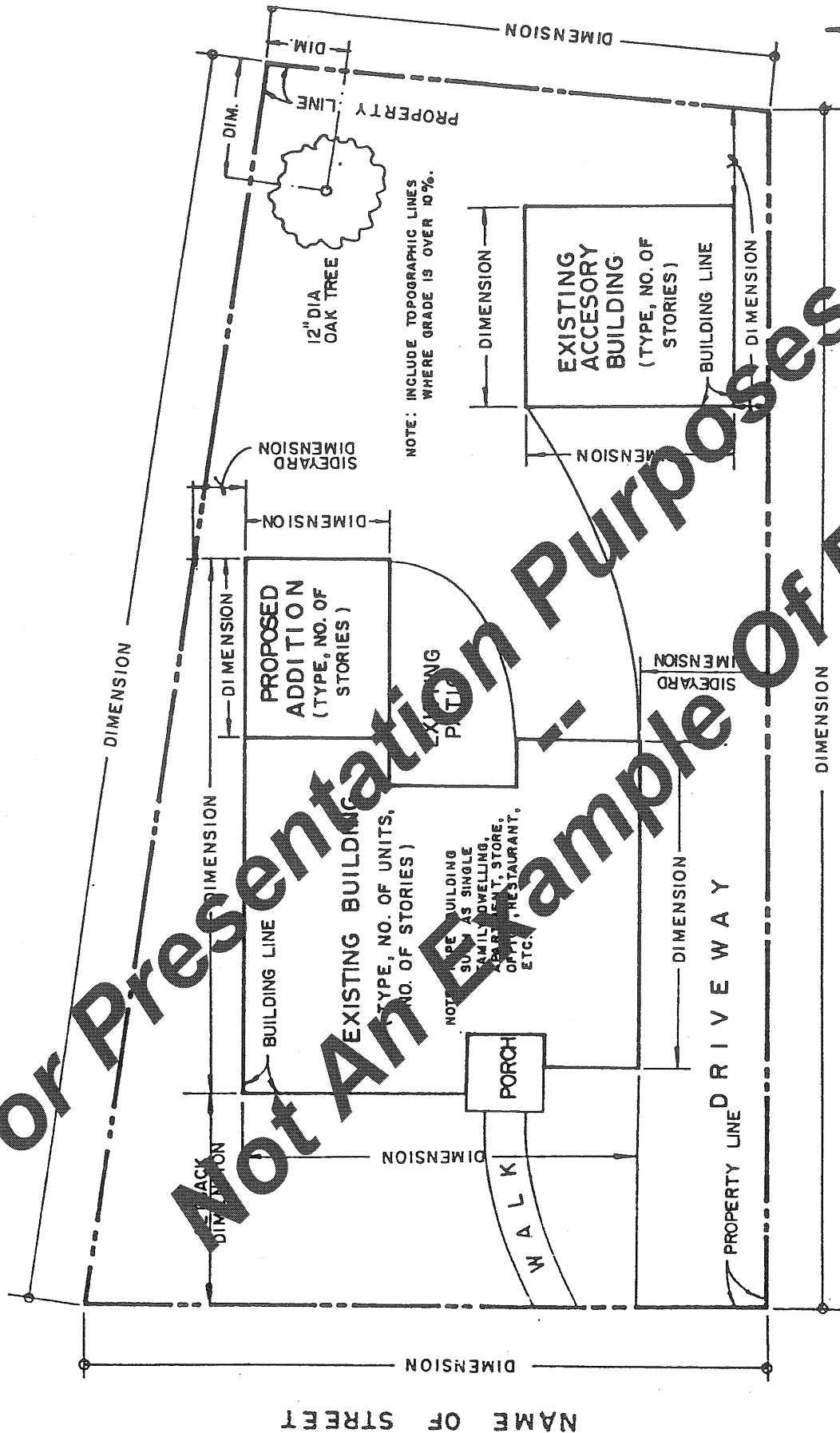
In order for the City to render a determination on your application, additional information may be required. Consult the appropriate Special Instructions handout. Provide on attached sheet(s) this additional information using the handout as a guide.

NOTE: All applicants are eligible to request a one time, one-year only freeze on fees charged by various City departments in connection with your project. It is advisable only when this application is deemed complete or upon payment of Building and Safety plan check fees. Please ask staff for details or an application.

**Planning Staff Use Only**

Base Fee	Reviewed and Accepted by	Date
Receipt No.	Deemed Complete by	Date

For Presentation Purposes Only



LEGAL DESCRIPTION:

LOT — BLOCK —  
TRACT —

NOTE: METES AND BOUNDS DESCRIPTION  
OF EXISTING PARCEL OR LOT SPLITS  
MUST BE ATTACHED TO THE APPLICATION.

NAME OF STREET  
(IF APPLICABLE)

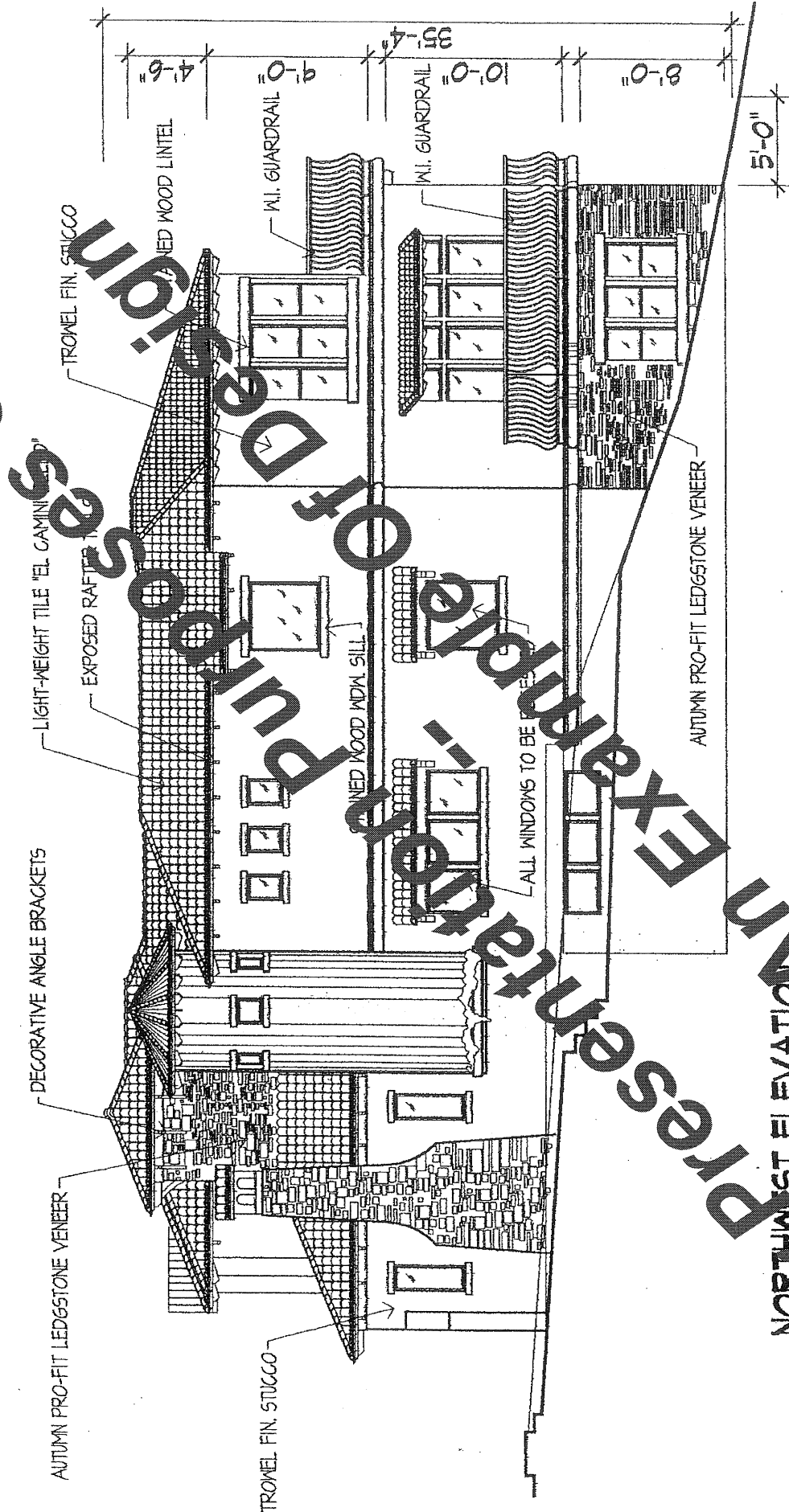
PROJECT ADDRESS:

PLOT PLAN

SCALE: (NOT LESS THAN 1/16"=1')

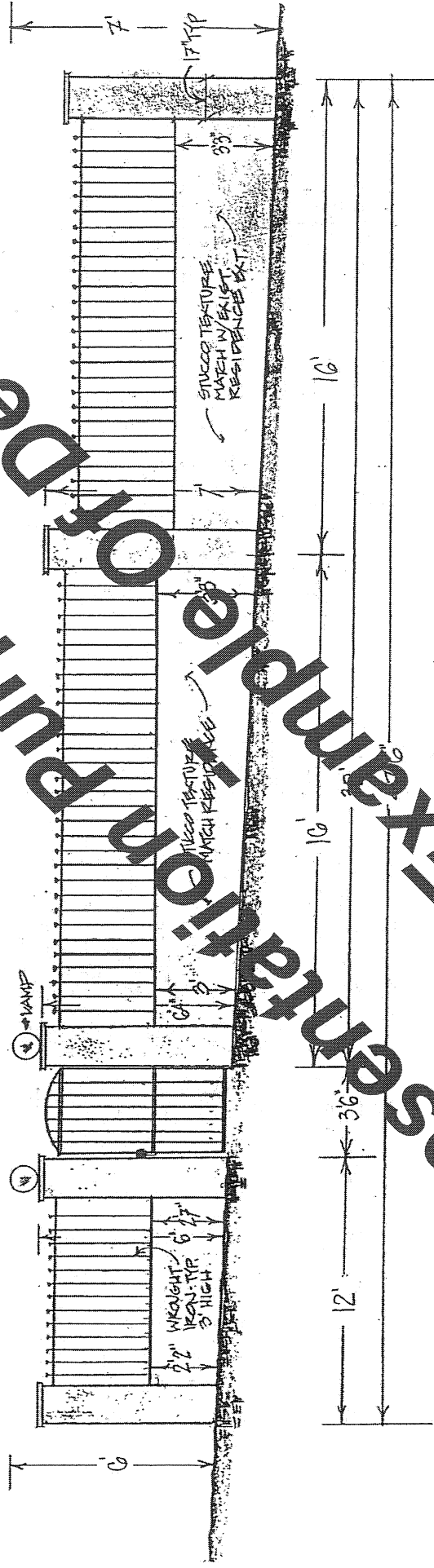
CASE NO.

Only  
For Presentation  
Not for Construction



NORTHWEST ELEVATION  
Typical Architectural Elevation

FRONT ELEVATION - 1/4 SCALE  
PROPOSED FENCE



For Presentation Purposes Only

## MAILING PROCEDURES

There are two types of mailings for public hearings; those for ABUTTING OWNERS and for PROPERTY OWNERS AND OCCUPANTS.

1. Names and addresses of property owners are to be obtained only from the City Clerk's Land Records Division, 7th Floor, 201 N. Figueroa Street.
2. The list of persons to be notified for public hearings depends upon the type of application filed but will be either the ABUTTING OWNERS or PROPERTY OWNERS AND OCCUPANTS lists. Please refer to the instructions for each application to determine which mailing list is used. *In any case if an off-site sign is located on a site for which a hearing is being noticed or action taken, the person(s), organization or company that has a legal interest in, owns or leases the sign shall be notified of the impending hearing or the action taken or proposed.*
3. BTC is the City's mailing contractor for public hearing notices only. BTC offers the option of either preparing the mailing labels from a list of names provided by the applicant, or accepting labels prepared by the applicant ready for mailing. Refer to the attached sample for the label format BTC requires. BTC fees are different for each option. Whichever option is chosen, a copy of the mailing list must be submitted with the application.

### **Downtown L.A.:**

201 N. Los Angeles St., Suite 13A  
Los Angeles, CA 90012  
Tel: (213) 617-9600  
Fax: (213) 617-9643  
bettertc@aol.com

### **Van Nuys:**

14540 Sylvan St., Suite A  
Van Nuys, CA 91411  
Tel: (818) 779-8866  
Fax: (818) 779-8870  
bettertc@aol.com

### **Fees:**

Labels and mailing....\$ 1.45/address  
Appeals.....\$ 1.25/address  
Mailing only.....\$ 1.10/address  
Sign posting fee.....\$60.00/sign

### **Hours:**

8 AM–12 noon, 1 PM–4 PM  
Monday–Friday  
Closed all City holidays

4. Mailing labels must be on 8½ x 11-inch sheets of self-adhesive (peel and stick) paper. Labels which require cutting, moistening, etc. or large, oversize labels are NOT acceptable. All labels must be TYPED.
5. Mailing labels for the property owner, applicant, and representative must be include in each mailing list and marked accordingly. IF THEY DO NOT HAVE A LABEL, THEY MAY NOT GET NOTIFIED OF THE HEARING.
6. For ABUTTING OWNERS LIST: names and addresses of abutting property owners include owners of properties across the street or alley or having a common corner with the subject property. A number next to each name on the list keyed to the required district map, must be indicated.
7. For PROPERTY OWNERS AND OCCUPANTS LIST: an ownership number must be clearly displayed with each name. The mailing labels and ownership number must be prepared in accordance with the instructions in the radius map booklet.

**EXAMPLE OF PROPERTY OWNERS MAILING LABELS FORMAT**

<b>1 Owner</b> JOSEPH L PITTARIO 123 MAIN STREET LOS ANGELES CA 90012	<b>2 Applicant</b> GEOFFREY B HARRISON 21421 MINNEHAHA STREET CHATSWORTH CA 91311	<b>3 Representative</b> CHARLES KLOSS 21423 SAN JOSE STREET CHATSWORTH CA 91311
<b>4</b> EVERETT L MILLER 22410 SAN JOSE STREET CHATSWORTH CA 91311	<b>5</b> PERPETUAL SAVINGS AND LOAN ASSOC 97 WILSHIRE BOULEVARD CHATSWORTH CA 90212	<b>6</b> ALFRED C LOPEZ 10241 JORDAN STREET CHATSWORTH CA 91311
<b>7</b> JOHN S SMITH 10242 JORDAN STREET CHATSWORTH CA 91311	<b>8</b> JANE DOE 10245 JORDAN STREET CHATSWORTH CA 91311	<b>9</b> MICHAEL JOHNSON 10461 ETON STREET CHATSWORTH CA 91311

**EXAMPLE OF OCCUPANTS MAILING LABELS FORMAT**

<b>1</b> OCCUPANT 21413 MINNEHAHA STREET CHATSWORTH CA 91311	<b>2</b> OCCUPANT 21421 MINNEHAHA STREET NO 1 CHATSWORTH CA 91311	<b>2</b> OCCUPANT 21421 MINNEHAHA STREET CHATSWORTH CA 91311
<b>3</b> OCCUPANT 22410 SAN JOSE STREET NO A CHATSWORTH CA 91311	<b>4</b> OCCUPANT 12410 SAN JOSE STREET NO B CHATSWORTH CA 91311	<b>5</b> OCCUPANT 12415 SAN JOSE STREET CHATSWORTH CA 91311
<b>13</b> OCCUPANT 10242 JORDAN STREET NO 1 CHATSWORTH CA 91311	<b>15</b> OCCUPANT 10242 JORDAN STREET NO 2 CHATSWORTH CA 91311	<b>21</b> OCCUPANT 10461 SAN JOSE STREET CHATSWORTH CA 91311

**BTC REQUIRES THE FOLLOWING:**

8. Typed list of names on labels (ABUTTING OWNERS or PROPERTY OWNERS AND OCCUPANTS LIST) or names for BTC to prepare labels

9. One copy of list

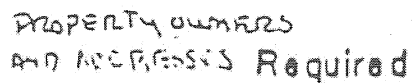
One copy of the Perjury Statement.

One copy of an 8½ x 11-inch reduced plot plan for ABUTTING OWNERS LIST

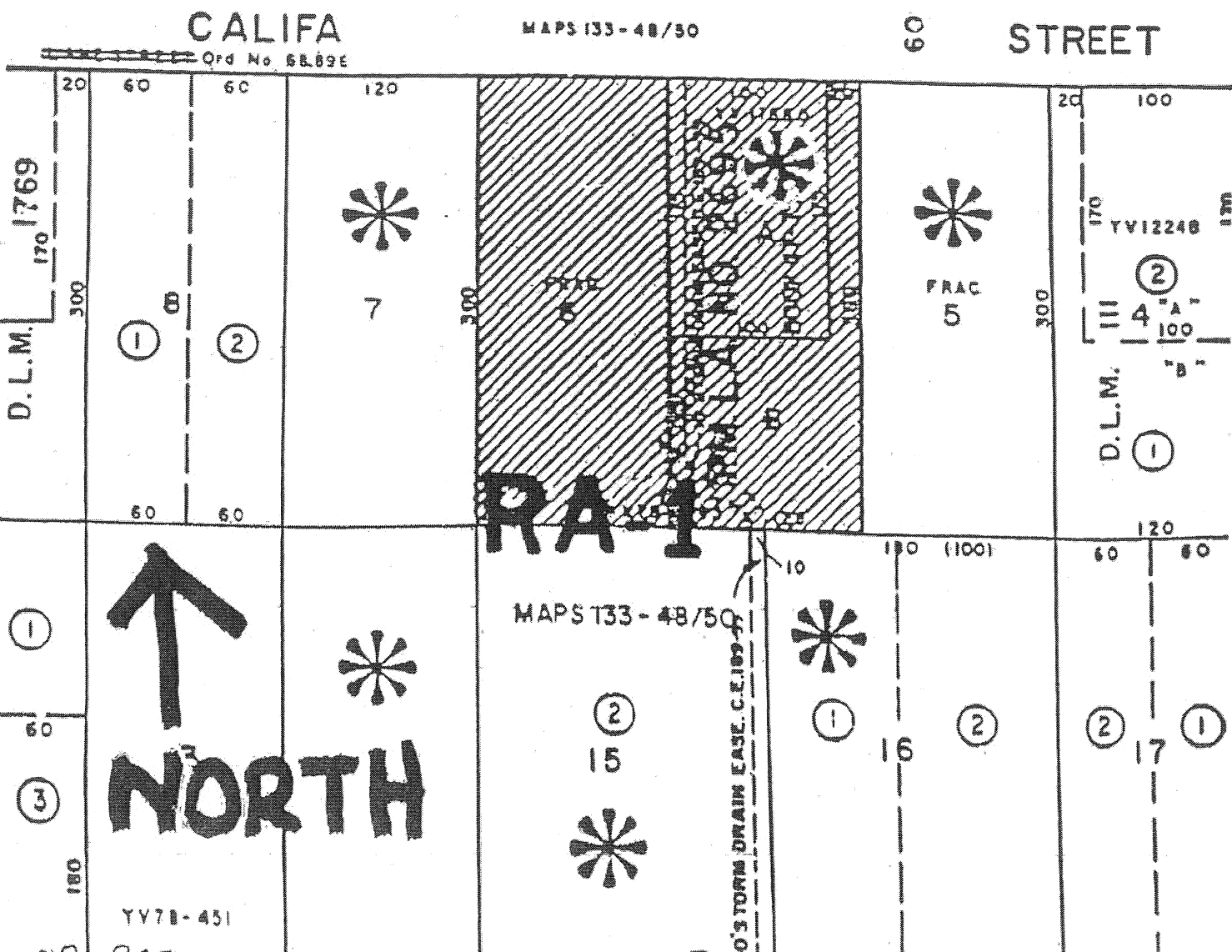
One photocopy of an 8½ x 11-inch reduced radius map for PROPERTY OWNERS AND OCCUPANTS LIST

One full-size print of the radius map for PROPERTY OWNERS AND OCCUPANTS LIST





D.M. 7272



## PROCEDURES FOR PREPARATION OF PERJURY STATEMENT

The following statement must be signed and attached to the list of ownerships and list of occupants for all cases:

I certify that to the best of my knowledge the attached radius map correctly depicts the required data obtained from records of the Office of the City Engineer, City Clerk and/or Department of City Planning of the City of Los Angeles and, where appropriate, the State Division of Highways.

I further certify that to the best of my knowledge and under the penalty of perjury, the attached ownership list correctly shows the latest names and addresses on the City Clerk's records as of the following date: \_\_\_\_\_. In certain circumstances, such as in annexation proceedings, where there may be no City Clerk's records, the records of the County Assessor's Office may be accepted.

\_\_\_\_\_  
(signature)

\_\_\_\_\_  
(printed name)

I certify that to the best of my knowledge and under the penalty of perjury, the attached occupants list correctly indicates addresses of the required occupants that fall within the radius as of the following date: \_\_\_\_\_.

\_\_\_\_\_  
(signature)

\_\_\_\_\_  
(printed name)

In certain instances, I was unable to notify all occupants; the following indicates which occupants I was not able to notify. I understand that the Department of City Planning will determine if reasonable attempts were made to secure these addresses from the information provided below.

Ownership #	Reason unable to notify *	Attempts made to notify **	Additional information

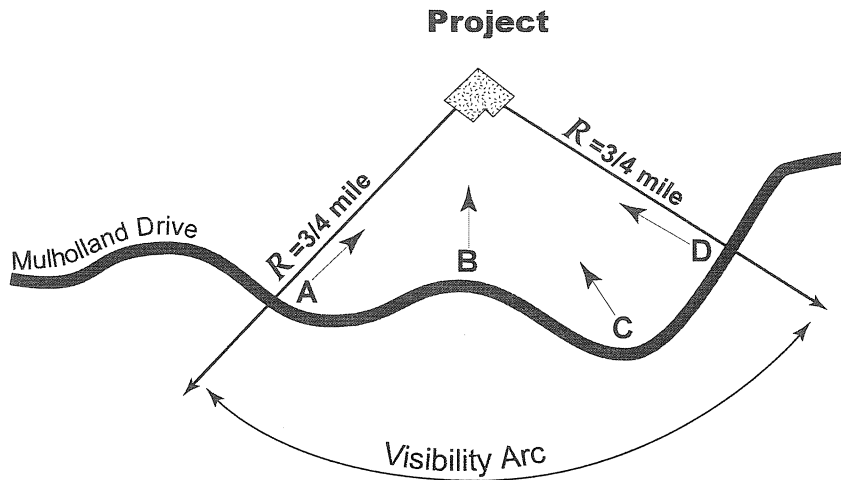
- \* (1) Secured building  
(2) Gated yard  
(3) Refused access  
(4) Other: specify

- \*\* (1) Returned to building on 3 separate occasions  
(2) Efforts to contact owner or manager without success  
(3) Contact the owner or manager who refused to provide info.  
(4) Other: specify

The Department will not accept the application, maps and ownership list which bear a date of more than 90 days prior to the date the application is accepted for the environmental process. The applicant may be required to update the radius map and ownership list prior to filing the application for action by the decision maker.

## Visibility Arc for Mulholland Scenic Parkway Specific Plan

Color photographs will be provided to indicate the visibility arc of the project from Mulholland Drive to illustrate whether any of the proposed structures may be seen. These photographs will be taken from the Mulholland right-of-way within a three-quarter radius from the project site. These photographs shall provide two or more views showing the project site, existing improvements, various views of the surrounding area, and any other significant features. The location where the photographs are taken will be indicated on a vicinity map, with the visibility arc drawn on it, as shown in the example below.



Photographs taken at points A, B, C, D on Mulholland Drive.

DEPARTMENT OF  
CITY PLANNING  
200 N. SPRING STREET, ROOM 525  
LOS ANGELES, CA 90012-4801  
AND  
6262 VAN NUYS BLVD., SUITE 351  
VAN NUYS, CA 91401

CITY PLANNING COMMISSION

WILLIAM ROSCHEN  
PRESIDENT  
REGINA M. FREER  
VICE-PRESIDENT  
SEAN O. BURTON  
DIEGO CARDOSO  
MATT EPSTEIN  
FR. SPENCER T. KEZIOS  
YOLANDA OROZCO  
BARBARA ROMERO  
MICHAEL K. WOO  
JAMES WILLIAMS  
COMMISSION EXECUTIVE ASSISTANT  
(213) 978-1300

CITY OF LOS ANGELES  
CALIFORNIA



ANTONIO R. VILLARAIGOSA  
MAYOR

EXECUTIVE OFFICES

MICHAEL J. LOGRANDE  
DIRECTOR  
(213) 978-1271  
VINCENT P. BERTONI, AICP  
DEPUTY DIRECTOR  
(213) 978-1274  
EVA YUAN-MCDANIEL  
DEPUTY DIRECTOR  
(213) 978-1273

FAX: (213) 978-1275

INFORMATION

[www.planning.lacity.org](http://www.planning.lacity.org) [www.planning.lacity.org](http://www.planning.lacity.org)

**2011 Calendar Year  
MULHOLLAND SCENIC PARKWAY SPECIFIC PLAN  
DESIGN REVIEW BOARD (DRB) ADVANCE CALENDAR**

General Policies:

1. The Design Review Board (DRB) regularly meets on the first and third Thursday of the month, at 6:30 P.M.
2. Scheduled meetings are subject to change or cancellation. Please call the City Planning Department to confirm meetings.
3. Meeting agendas are mailed to all owners/occupants abutting, across the street or alley from, or having a common corner with the subject property; interested parties; and are posted at the City Planning Department and at <http://www.lacity.org/PLN/index.htm>.
4. All applications require submission to the Department of City Planning, Van Nuys Community Planning Public Counter at 6262 Van Nuys Boulevard, Suite 351, Van Nuys, CA 91401, for review pursuant to adopted requirements in the Los Angeles Municipal Code, Section 11.5.7.C, the Mulholland Scenic Parkway Specific Plan, and the Design and Preservation Guidelines.

**For those projects subject to Design Review Board submittal, the following 2011 schedule applies:**

Review Weeks for Each Meeting		2011 Deadlines for Submittal of Application*	2011 Design Review Board Meetings 6:30 p.m.
First	Second		
Nov. 29 - Dec. 3, 2009	December 6-10, 2010	December 16, 2010	January 6
December 13-17, 2010	December 20-24, 2010	December 30, 2010	January 20
Dec. 27, 2010 - Jan. 31	January 3-7	January 13	February 3
January 10-14	January 18-21	January 27	February 17
January 24-28	Jan. 31 - Feb. 4	February 10	March 3
February 7-11	February 14-18	February 24	March 17
Feb. 28 - March 4	March 7-11	March 17	April 7
March 14-18	March 21-25	March 31	April 21
March 29 - April 1	April 4-8	April 14	May 5
April 11-15	April 18-22	April 28	May 19
April 25-29	May 2-6	May 12	June 2
May 9-13	May 16-20	May 26	June 16
May 31 - June 3	June 6 - June 10	June 16	July 7
June 13-17	June 20-24	June 30	July 21
June 27 - July 1	July 5-8	July 14	August 4
July 11-15	July 18-22	July 28	August 18
July 25-29	August 1-5	August 11	September 1
August 8-12	August 15-19	August 25	September 15
August 29 - Sept. 2	September 6-9	September 15	October 6
September 5-9	September 12-16	September 29	October 20
Sept. 26 - Oct. 30	October 3-7	October 13	November 3
October 11-14	October 17-21	October 27	November 17
November 1-5	October 31 - Nov. 4	November 10	December 1
November 14-18	November 15-19	November 23	December 15

\* Applications must be submitted to the Planning Department's Mulholland Specific Plan staff by appointment only. Call Nelson Rodriguez at (818) 374-9903 or Dan O'Donnell at (818) 374-5066 for an appointment. Applications must be reviewed and deemed complete by both the Mulholland and the Public Planning-Counter staffs. Upon receiving confirmation from Mulholland planners that an application is ready for filing, applicants have until 3 p.m. of the day after the submittal deadlines listed above to have application materials deemed complete by, and obtain a case number from, the Planning Public Counter (Suite 251), and to pay fees and obtain a valid receipt from the City Cashier. All of these steps must be completed before a case will be included on the agenda for DRB review.