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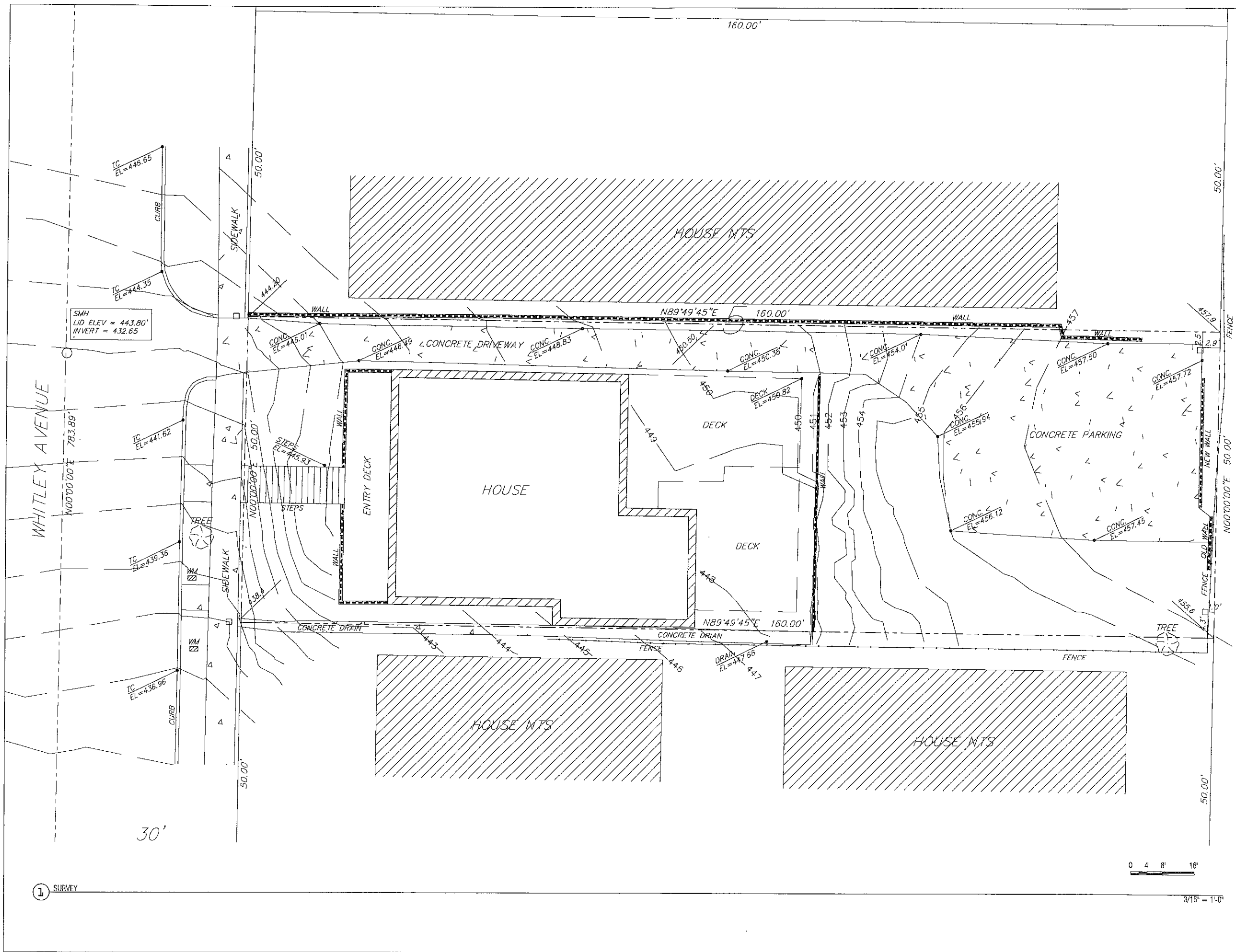
NO.	DATE	DESCRIPTION
1	13-FEB-17	PLANNING SET
2		REFERENCE SURVEY

WHITLEY AVENUE APARTMENTS
1808 WHITLEY AVENUE
LOS ANGELES, CALIFORNIA 90019

PLANNING SET
13-FEB-17

REFERENCE SURVEY

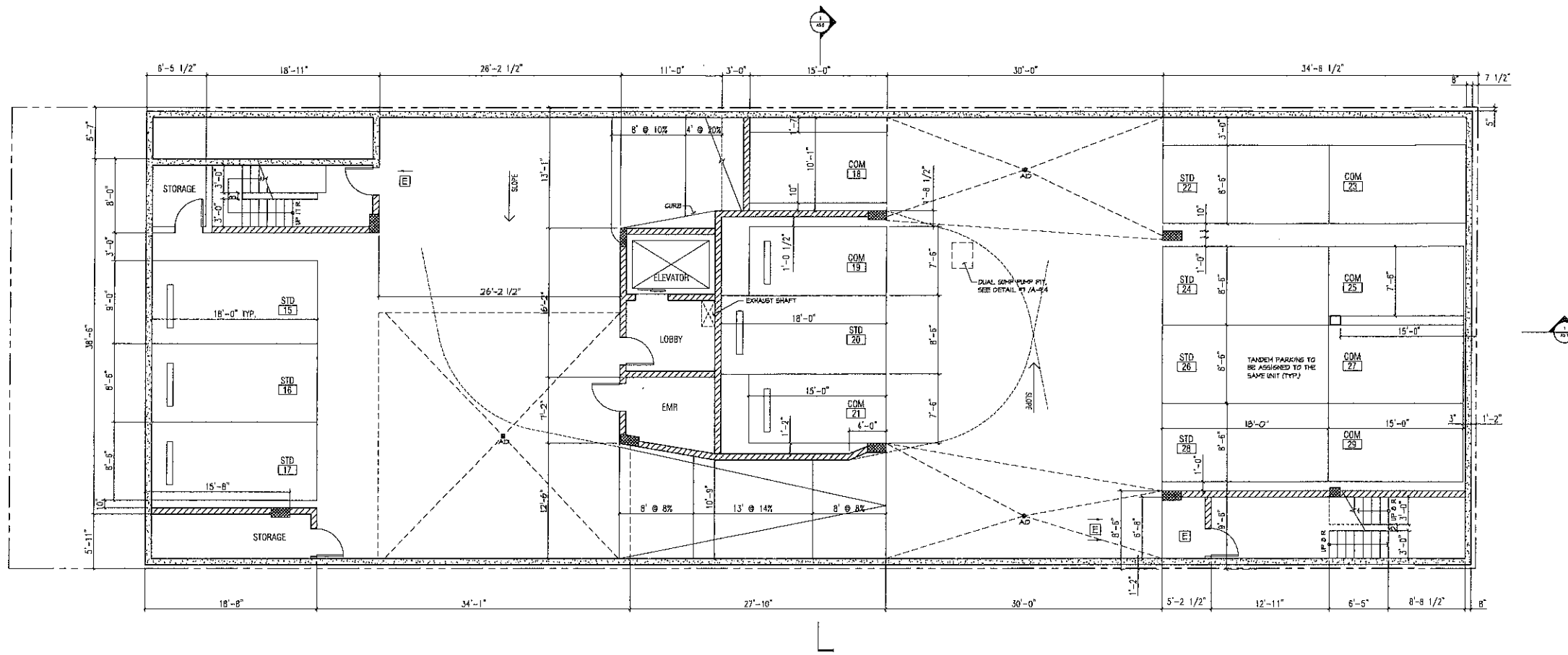
A-1.1



1 SURVEY

0 4' 8' 16'

3/16" = 1'-0"



LEGEND:

- 6" THICK BLOCK WALL
- COLUARS
- CONCRETE WALL PER SPECIFICATION
- 1 HR RATED 2x4 INTERIOR WALL
- 2 HR RATED 2x6 EXTERIOR WALL

wtarch
 ARCHITECTS
 HASANUDDIN
 DEBAN
 ARCHITECTS
 1201 W. 11th St.
 Los Angeles, CA 90015
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NO.	DATE	DESCRIPTION

WHITLEY AVENUE APARTMENTS
 1530 WHITLEY AVENUE
 LOS ANGELES, CALIFORNIA 90015

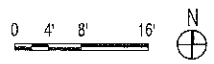
PLANNING SET
 13-FEB-17

P2 PARKING PLAN

A-3.0

PARKING TALLY

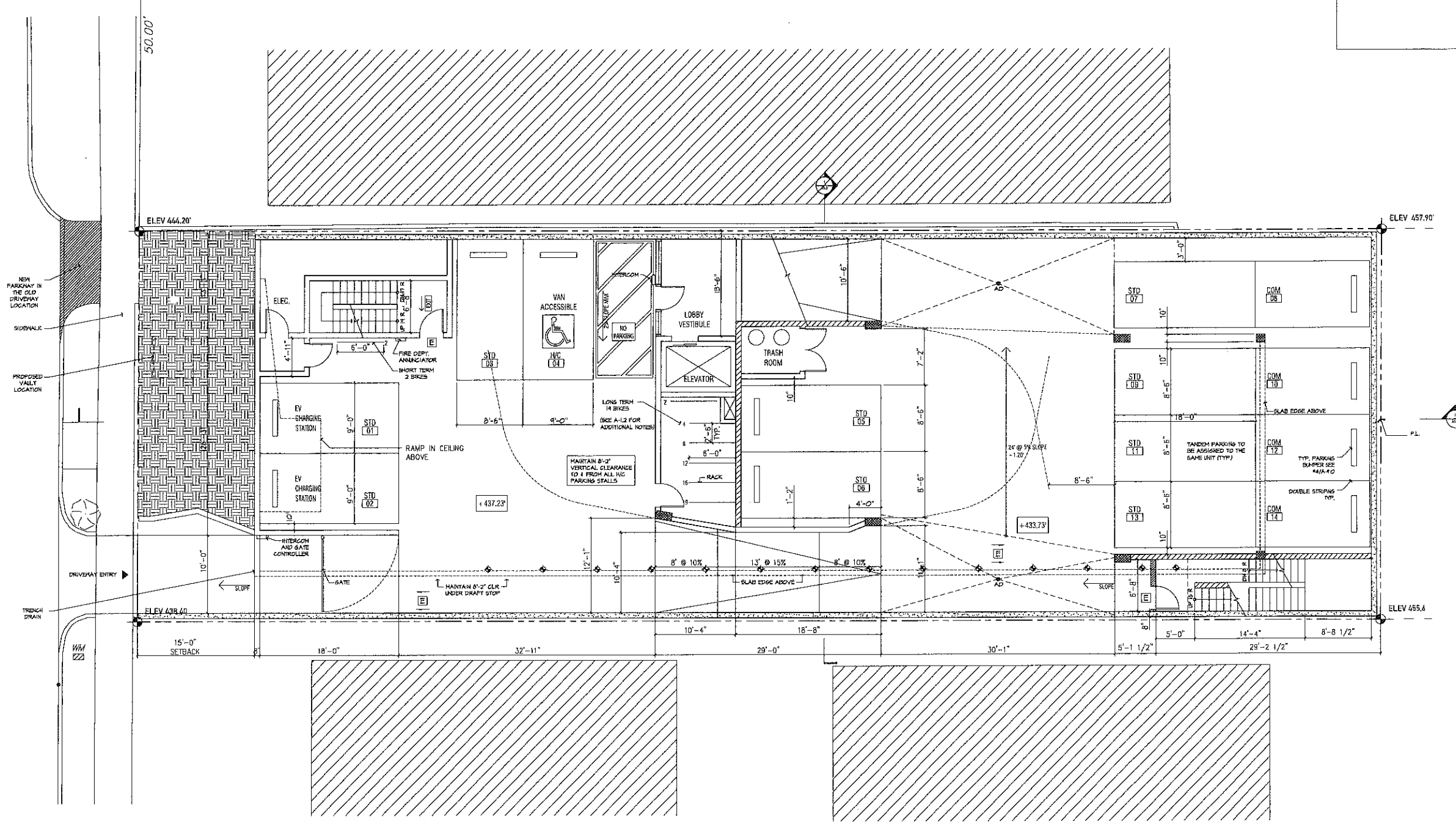
STANDARD	
COMPACT	



P2 PARKING PLAN

3/16" = 1'-0"

WHITLEY AVENUE



LEGEND:

- 8" THICK BLOCK WALL
- COLUMNS
- CONCRETE WALL PER STRUCTURAL
- 1 HR RATED 2x4 INTERIOR WALL
- 2 HR RATED 2x6 EXTERIOR WALL

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 1000 W. 10th St. Suite 100
 Los Angeles, CA 90015
 Tel: 213.481.1111



PROJECT NO. 04-28107
 DATE 02-11-11
 SHEET NO. A-3.1

NO.	REVISION	DATE

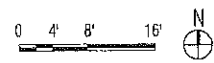
WHITLEY AVENUE APARTMENTS
 1520 WHITLEY AVENUE
 LOS ANGELES, CALIFORNIA 90008

PLANNING SET
 01-FEB-11
 P1 PARKING PLAN

A-3.1

PARKING TALLY

4	STANDARD
4	COMPACT
1	HC VAN

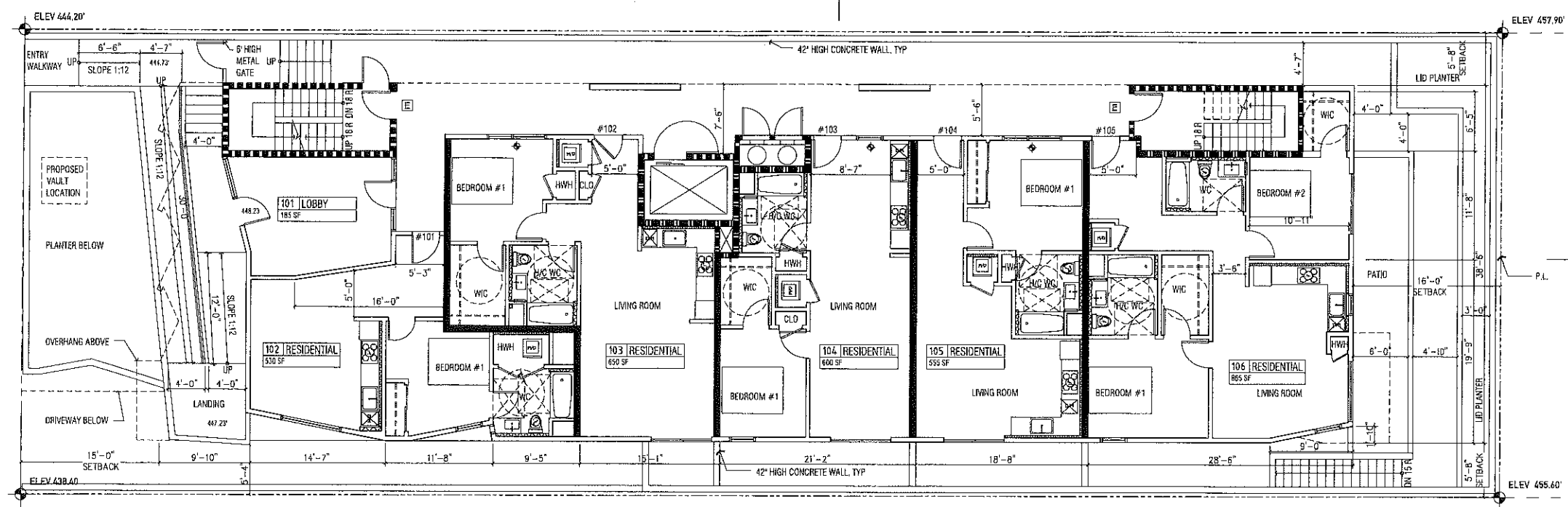


P1 PARKING PLAN

3/16" = 1'-0"

LEGEND:

	8" THICK BLOCK WALL
	COLUMNS
	CONCRETE WALL PER STRUCTURAL
	1 HR RATED 2 1/4 INTERIOR WALL
	2 HR RATED 2 1/4 EXTERIOR WALL
	PLUMBING WALL
	1 HR RATED DOUBLE 2 1/4 PARTY WALL MUST MEET SOUND TRANSMISSION CLASS OF 50 (STC 50) OR BETTER
	2 HR RATED 2 1/2 SHAFT WALL



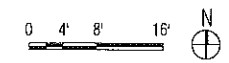
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NO.	DATE	BY	REVISION

WHITLEY AVENUE APARTMENTS
 1920 WHITLEY AVENUE
 LOS ANGELES, CALIFORNIA 90028

PLANNING SET
 13-FEB-11
 FIRST FLOOR PLAN

A-3.2



1 FIRST FLOOR PLAN

3/16" = 1'-0"

LEGEND:

	6" BRICK BLOCK WALL
	COLUMNS
	CONCRETE WALL PER STRUCTURAL
	1 HR RATED 2x4 EXTERIOR WALL
	2 HR RATED 2x6 EXTERIOR WALL
	PLASTERED WALL
	1 HR RATED DOUBLE 2x4 PARTY WALL WITH MEET SOUND TRANSMISSION CLASS OF 50 (STC 50) OR BETTER
	2 HR RATED 2x6 SHAFT WALL

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 LOS ANGELES, CA 90017
 PH: 213.487.1111
 WWW.WTARCH.COM



I, W. MARK WHITLEY, ARCHITECT, do hereby certify that the above plan is the true and correct copy of the original as shown to me by the architect and that I am a duly licensed architect in the State of California.

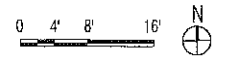
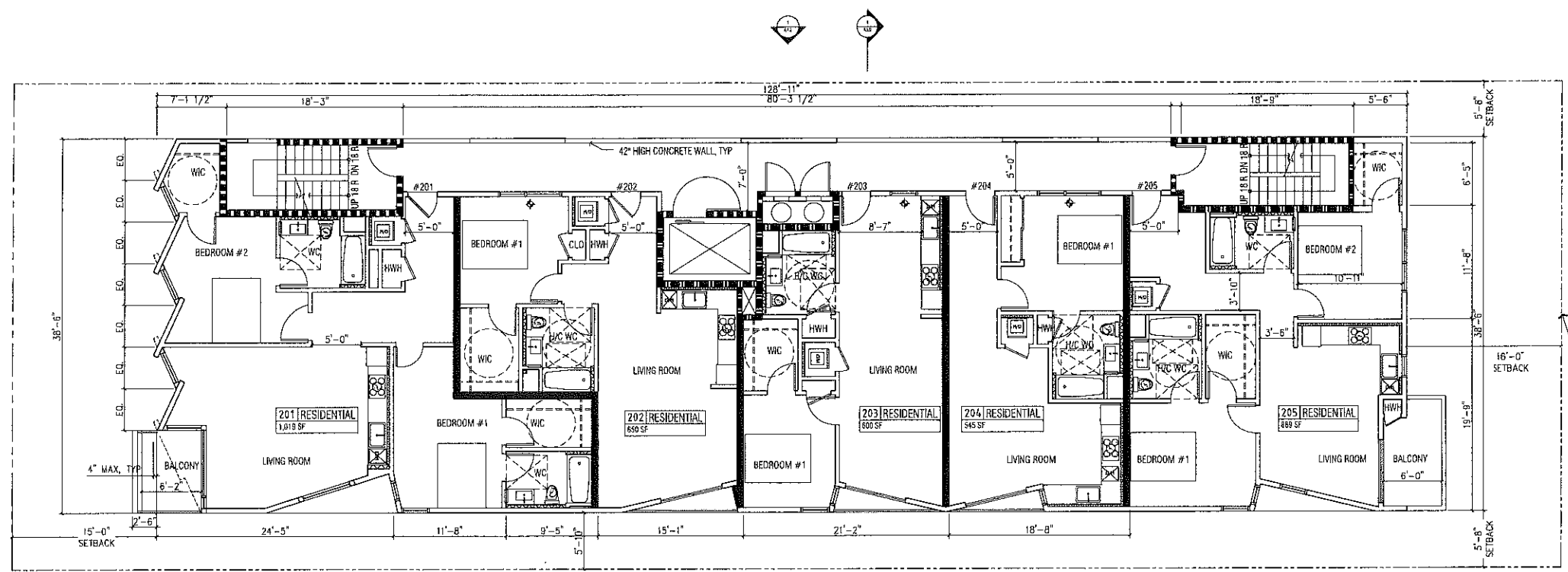
NO.	DATE	REVISION
1	2.2.17	ISSUE
2	2.3.17	REVISED

WHITLEY AVENUE APARTMENTS
 1928 WHITLEY AVENUE
 LOS ANGELES, CALIFORNIA 90088

PLANNING SET
 13-FEB-17

SECOND FLOOR PLAN

A-3.3

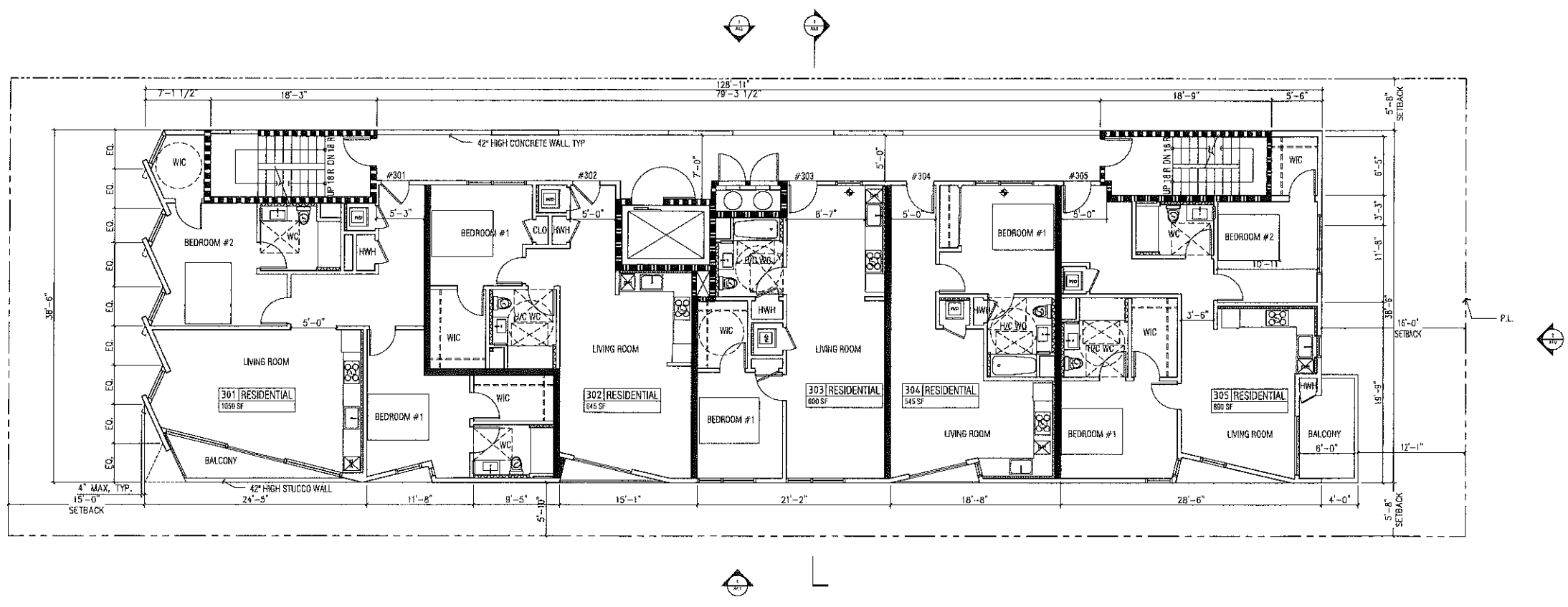


1 SECOND FLOOR PLAN

3/16" = 1'-0"

LEGEND:

	8" BRICK BLOCK WALL
	CONCRETE WALL PER COLUMN
	CONCRETE WALL PER STRUCTURAL
	1 HR RATED 2x4 INTERIOR WALL
	2 HR RATED 2x6 EXTERIOR WALL
	PLUMBING WALL
	1 HR RATED DOUBLE 2x4 PARTY WALL WITH MEET SOUND TRANSMISSION CLASS OF 50 (STC 50) OR BETTER
	2 HR RATED 2x6 SHAFT WALL



① THIRD FLOOR PLAN

3/16" = 1'-0"

LEGEND:

- 8" THICK BLOCK WALL
- COLUMNS
- CONCRETE WALL PER STRUCTURE
- 1 HR RATED 2x4 INTERIOR WALL
- 2 HR RATED 2x4 EXTERIOR WALL
- PLASTERED WALL
- 1 HR RATED DOUBLE 2x4 PARTY WALL MUST MEET SOUND TRANSMISSION CLASS OF 50 (STC 50) OR BETTER
- 2 HR RATED 2x4 SHAFT WALL

Masoud
Ogban
1001 W. 4th St. #100
LOS ANGELES, CA 90012



PL-101111-101111
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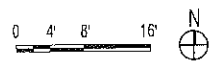
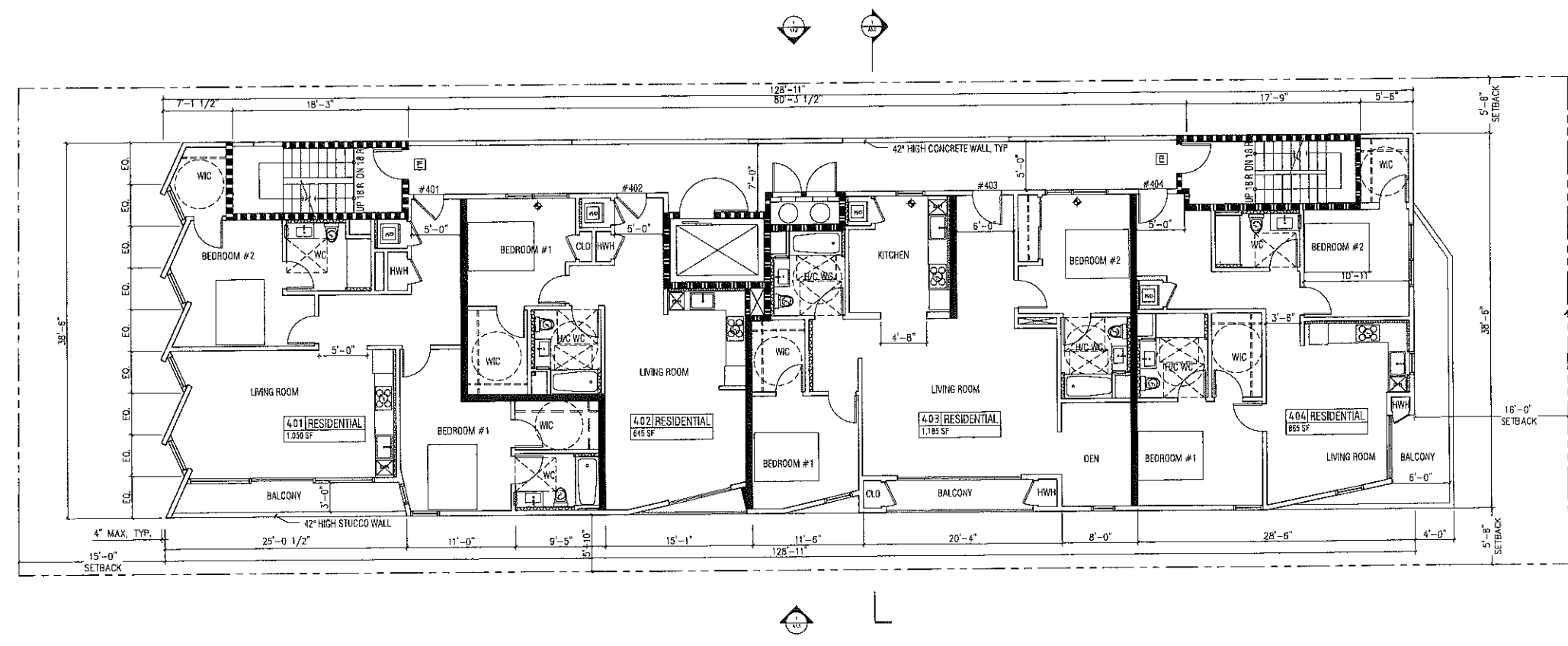
NO.	DATE	DESCRIPTION

WHITLEY AVENUE APARTMENTS
1520 WHITLEY AVENUE
LOS ANGELES, CALIFORNIA 90066

PLANNING SET
13-FEB-17

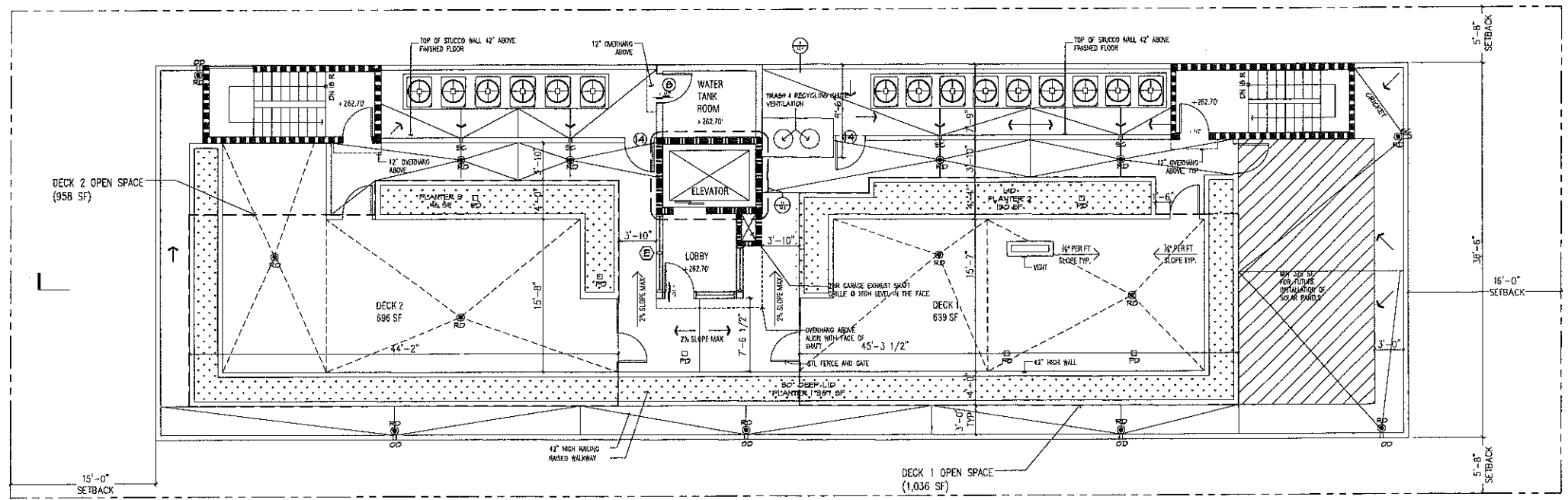
FOURTH FLOOR PLAN

A-3.5



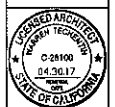
④ FOURTH FLOOR PLAN

3/16" = 1'-0"



DECK 2 IS AT ROOF TOP ONLY
 APPROX. ROOFING
 IN EXISTING OR NEW

ROOF JOISTS: BUILT-UP WOODER
 APPROX. ROOFING
 FOR ROOFING PRODUCTS CALL WTC OR
 MARCH 11, 2017 @ 11:00 AM 3" OR 3"
 FIRE RESISTANT
 ROOF OVERHANG SHALL COMPLY WITH
 TABLE 15A (UFGC 91.1091)



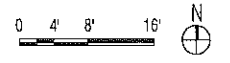
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NO.	DATE	DESCRIPTION	BY	CHKD.

WHITLEY AVENUE APARTMENTS
 1800 WHITLEY AVENUE
 LOS ANGELES, CALIFORNIA 90006

PLANNING SET
 13-FEB-17
 ROOF FLOOR PLAN
 A-3.6

1 ROOF FLOOR PLAN



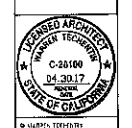
3/16" = 1'-0"

FINISH SCHEDULE	
G	GLASS GUARDRAIL
S1	STUCCO TYPE 1
S2	STUCCO TYPE 2
W	WOOD
C1	BOARD FORMED CONCRETE
C2	CONCRETE

wtarch

3000 W. BRADLEY AVENUE
LOS ANGELES, CA 90008
TEL: 310.440.1000
WWW.WTARCH.COM

PROJECT: WHITLEY AVENUE APARTMENTS
DATE: 02-20-17
DRAWN BY: [REDACTED]
CHECKED BY: [REDACTED]



CHAD M. SMITH
REGISTERED ARCHITECT
LICENSE NO. 243017
STATE OF CALIFORNIA

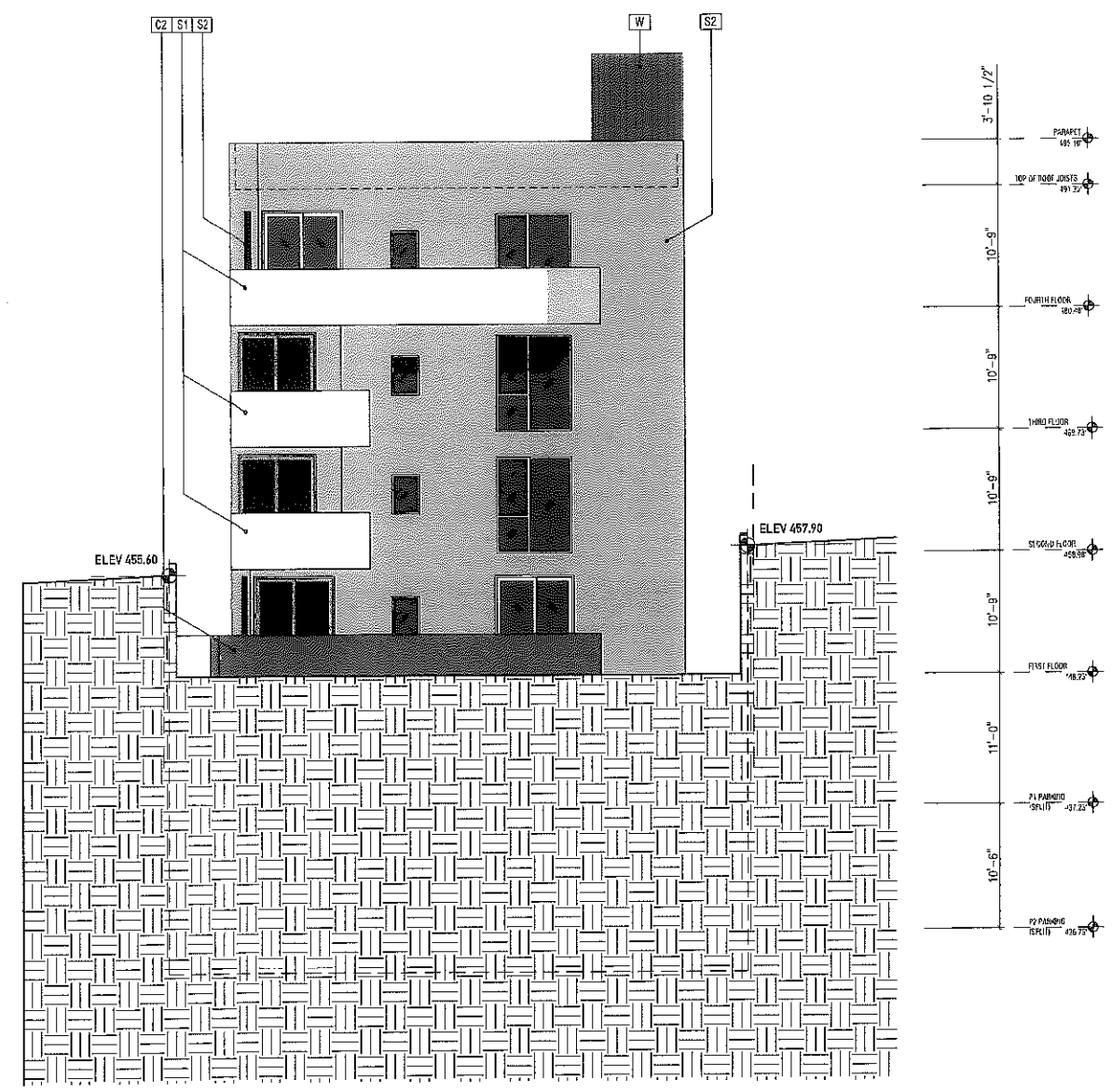
NO.	REVISION	DATE

WHITLEY AVENUE APARTMENTS
1030 WHITLEY AVENUE
LOS ANGELES, CALIFORNIA 90008

PLANNING SET
13-FEB-17

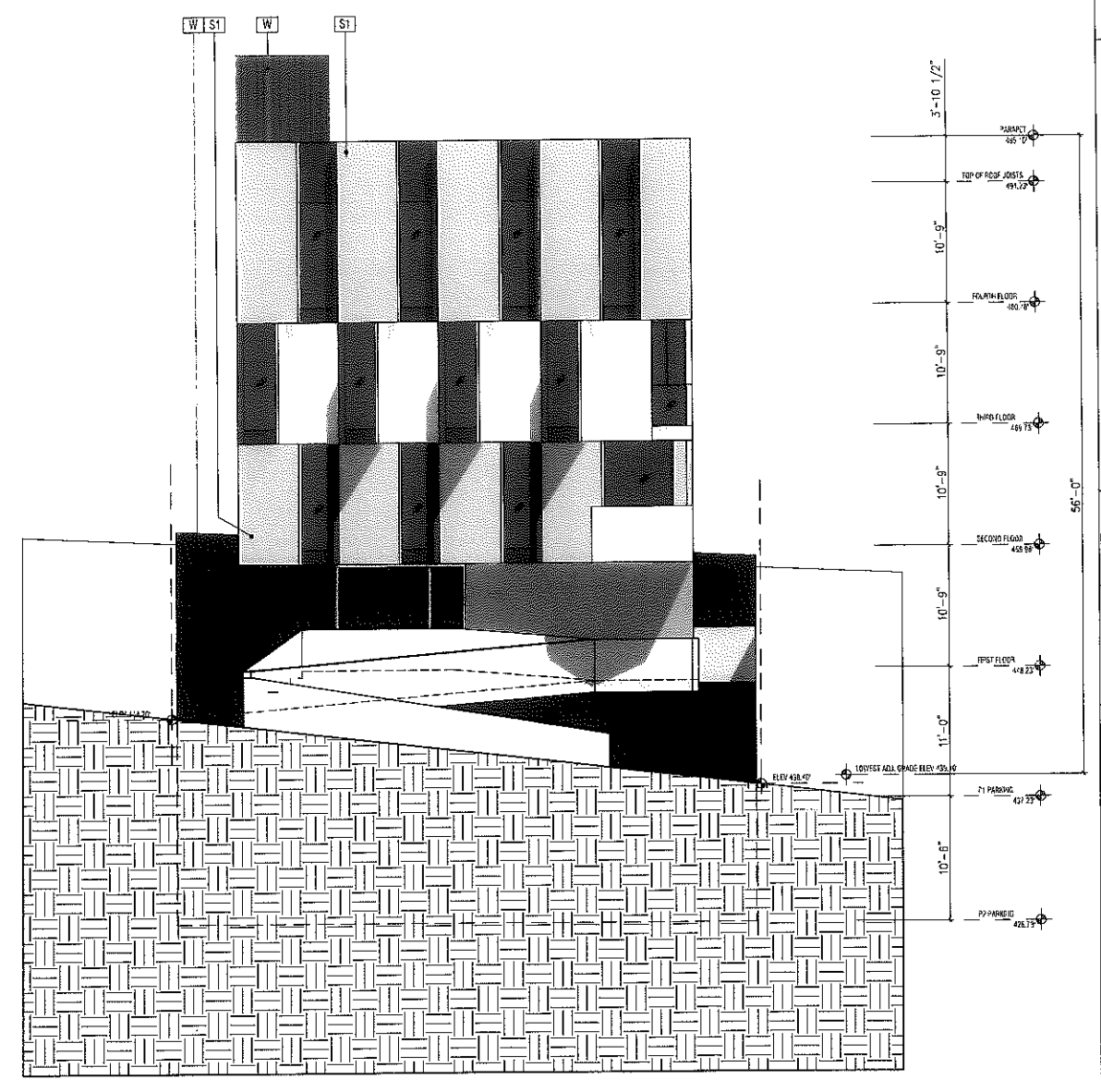
ELEVATIONS

A-4.0



2 EAST ELEVATION

3/16" = 1'-0"



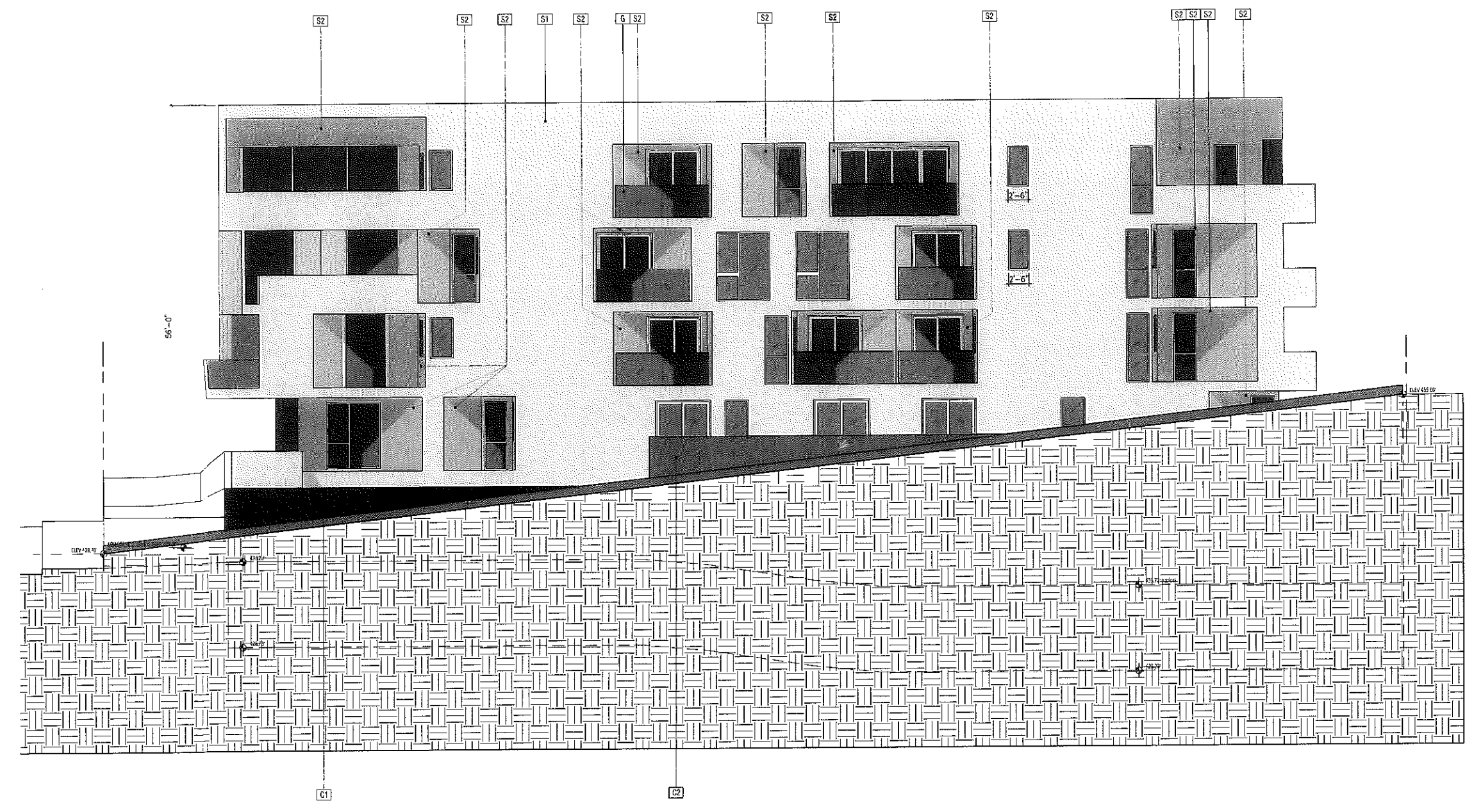
1 WEST ELEVATION

0 4' 8' 16'

3/16" = 1'-0"

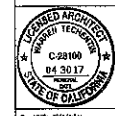
FINISH SCHEDULE	
G	GLASS GUARDRAIL
S1	STUCCO TYPE 1
S2	STUCCO TYPE 2
W	WOOD
C1	BOARD FORMED CONCRETE
C2	CONCRETE

STRUCTURE ENGINEER
Masoud
Dejdar
10700 WILSHIRE AVENUE
LOS ANGELES, CA 90024
(310) 351-1000



1 SOUTH ELEVATION

3/16" = 1'-0"



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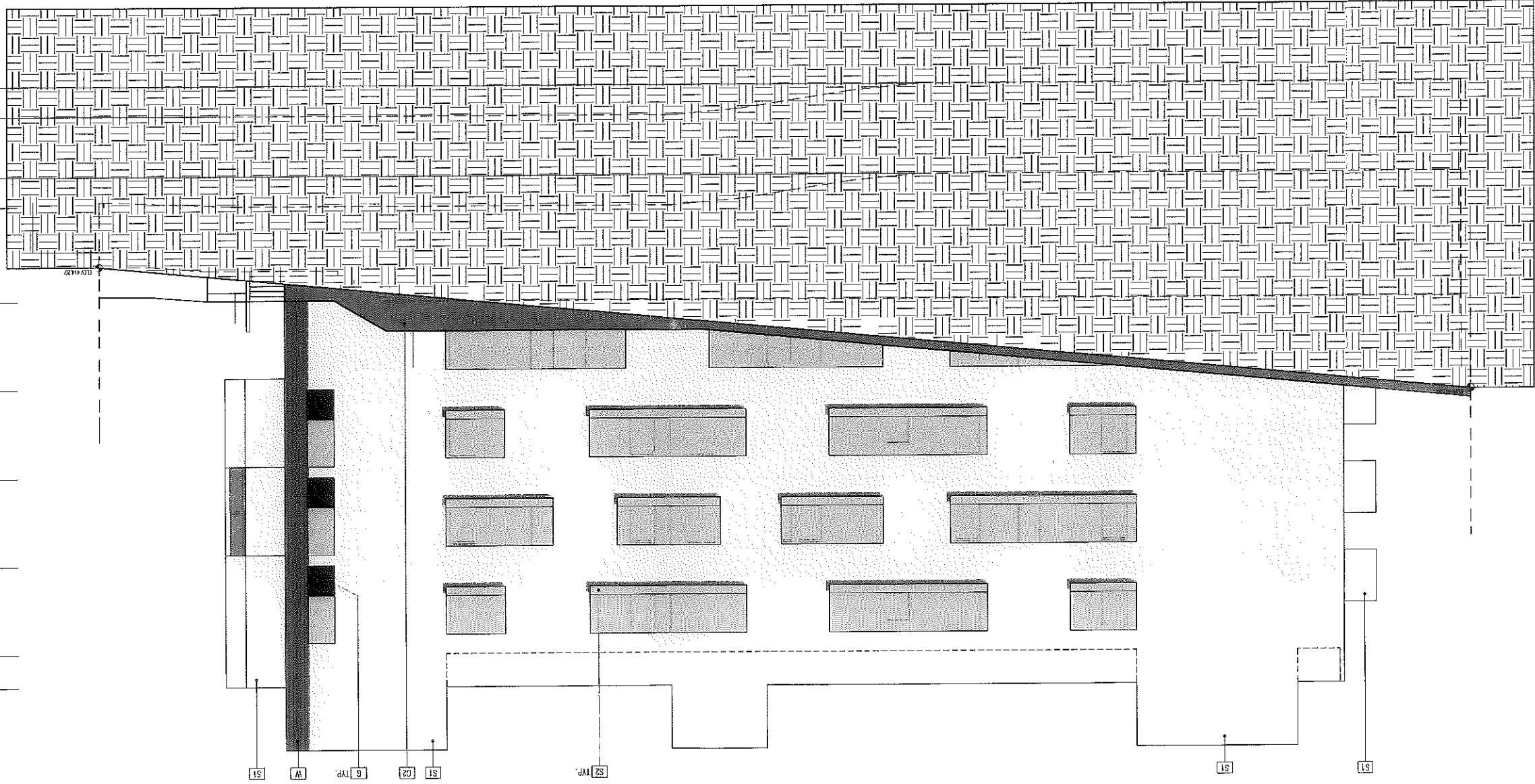
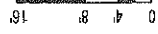
NO.	REVISION	DATE	BY	CHKD BY

WHITLEY AVENUE APARTMENTS
1820 WHITLEY AVENUE
LOS ANGELES, CALIFORNIA 90008

PLANNING SET
13-FEB-17

ELEVATIONS

A-4.1



FINISH SCHEDULE	
G	GLASS GUARDRAIL
S1	STUCCO TYPE 1
S2	STUCCO TYPE 2
W	WOOD
C1	BOARD FORMED CONCRETE
C2	CONCRETE



WHITLEY AVENUE APARTMENTS
 1520 WHITLEY AVENUE
 LOS ANGELES, CALIFORNIA 90008

PLANNING SET
 13-FEB-17

A-42

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me or under my direct supervision
and I am a duly licensed professional
engineer in the State of California.
I hereby certify that I am the
author of the design and drawings
shown on this plan and that I am
a duly licensed professional
engineer in the State of California.

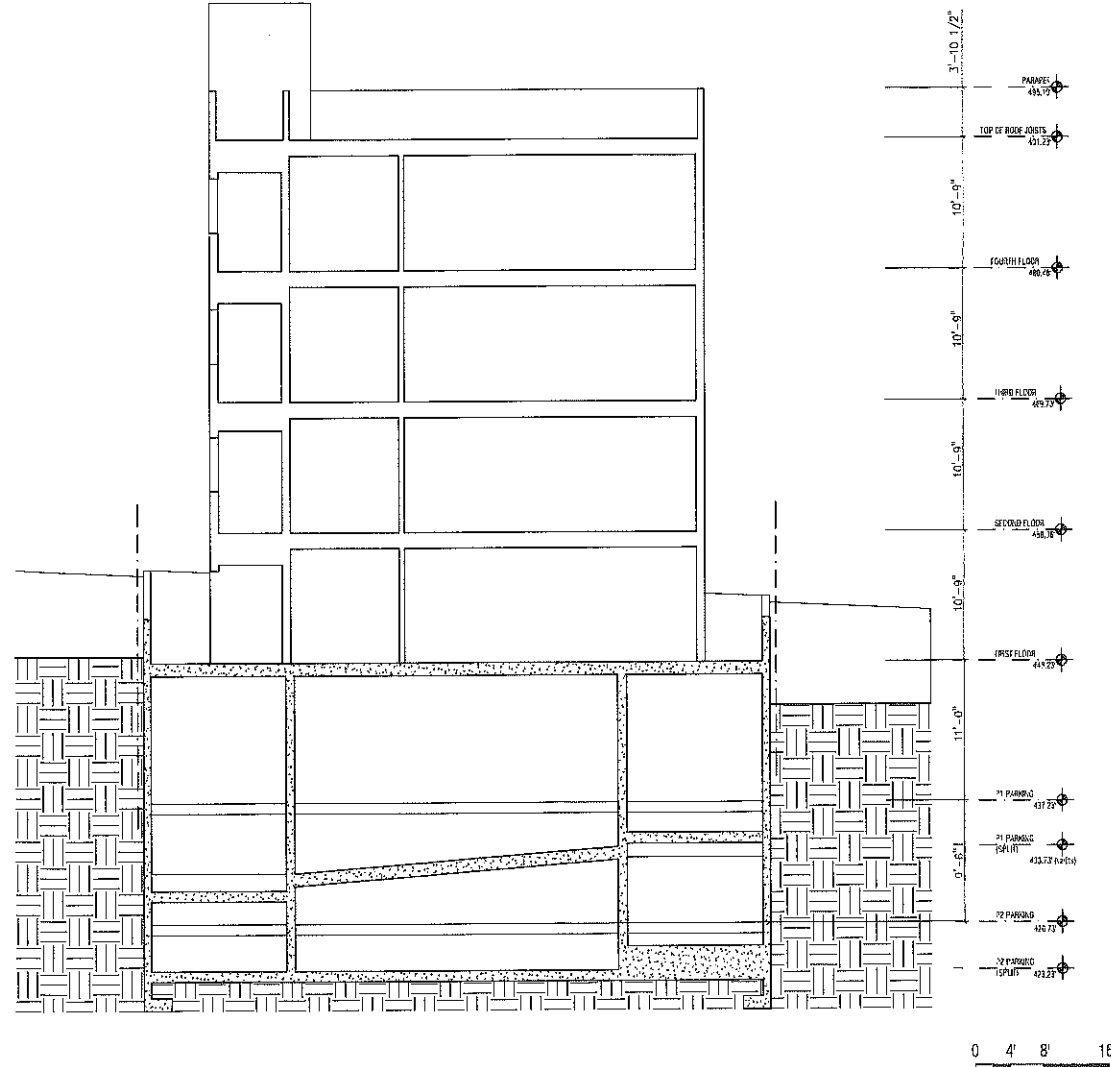
NO.	DATE	REVISION

WHITLEY AVENUE APARTMENTS
1000 WHITLEY AVENUE
LOS ANGELES, CALIFORNIA 90017

PLANNING SET
13-FEB-17

SECTIONS

A-5.0



SECTION A

3/16" = 1'-0"



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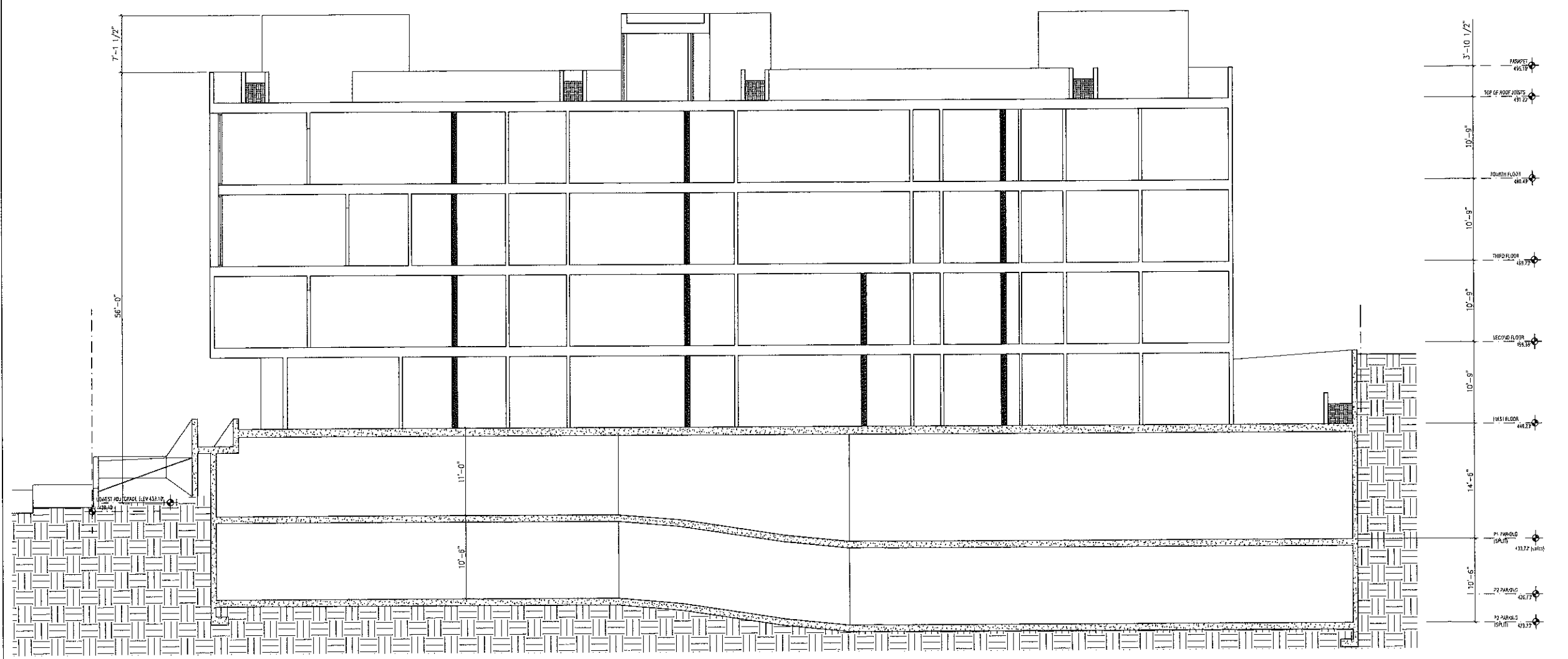
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WHITLEY AVENUE APARTMENTS
 1924 WHITLEY AVENUE
 LOS ANGELES, CALIFORNIA 90008

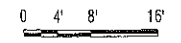
PLANNING SET
 13-FEB-11

SECTIONS

A-5.1



- 3'-10 1/2" PARAPET 431.10
- TOP OF ROOF JOISTS 431.22
- 10'-9" FOURTH FLOOR 430.43
- 10'-9" THIRD FLOOR 429.77
- 10'-9" SECOND FLOOR 429.35
- 10'-9" FIRST FLOOR 428.27
- 14'-6" P1 PARKING (S.P.) 433.77 (hatched)
- 10'-6" P2 PARKING 426.77
- 10'-6" P3 PARKING (S.P.) 423.27



3/16" = 1'-0"

SECTION B