PROJECT SUMMARY

PROJECT DESCRIPTION:		
BUILDING SITE AREA:	20,815 SF	
	TOTALS	
SUBTERRANEAN PARKING	1 LEVEL	
LEVELS 1-2: PARKING & RETAIL PROGRAM	2 LEVELS	
LEVELS 3-7: RESIDENTIAL PROGRAM	5 LEVELS	
TOTAL DECIDENTIAL -	60 LINITS	

BUILDING TO BE PROVIDED WITH AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH CBC 903.3.1.1 AND NFPA 13; AND WITH FIRE ALARM

PER ADA, PROJECT IS 100% PRIVATELY FUNDED, NO TAX CREDIT, NOT PUBLIC HOUSING

FLOOR AREA SUMMARIES (BASED ON CBC DEFINITION OF BUILDING AREA):

SPRINKLER: TYPE IA & IIIA (WITH FRONTAGE INCREASE - INCREASE APPLIED TO HEIGHT AND STORY, CBC 504.2)

LEVEL	DESCRIPTION (CONST. TYPE)	PROPOSED GROSS (S.F.)
B1	PARKING GARAGE TYPE IA	17,515
4	PARKING GARAGE TYPE IA	10,788
1	RETAIL TYPE IA	6,549
2	PARKING GARAGE TYPE IA	17,463
3		12,966
4		12,968
5	RESIDENTIAL TYPE IIIA	12,968
6		12,968
7		6,667
TOTAL	(OVERALL):	110,853



Consultant ■ Client/Owner SKYVIEW SUNSET LLC

888 S FIGUEROA ST. LOS ANGELES, CA 90017

 $N \longrightarrow T$

COMMON LAW COPYRIGHT AND OTHER PROPERTY

OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF NEXT ARCHITECTURE

100 WEST BROADWAY STE. 3000

LONG BEACH, CA 90802

(562) 810-3719

SHEET INDEX

NUMBER NAME

GENERAL A000 TITLESHEET PROJECT SUMMARY **EXISTING SITE PLAN** SITE PLAN A040 OPEN SPACE DIAGRAMS A041 F.A.R. SUMMARY A042 **BUILDING AREA**

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PROPOSED MIXED USE RESIDENTIAL BUILDING WITH 62

OVER 2 LEVELS OF ABOVE GRADE AND 1 LEVEL OF

AFFORDABLE UNITS PER TOC GUIDELINES.

RESIDENTIAL UNITS OVER 6,300 SF OF COMMERCIAL SPACE FOR A TOTAL OF 57,241 SF. THE PROPOSED BUILDING WILL BE 5-STORIES

SUBTERRANEAN PARKING. THE PROJECT WILL UTILIZE THE TOC

TIER 1 BY-RIGHT AND ADDITIONAL INCENTIVES WHICH INCLUDE TRANSITIONAL HEIGHT AND YARD REQUIREMENTS OF THE RAS3

ZONE. THE PROJECT WILL PROVIDE 8% OF THE UNITS AS EVL

LOTS 46, 47 AND 48 OF TRACT NO. 1607 AS PER MAP RECORDED IN BOOK 21 AT PAGES 54 AND 55 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF LOS ANGELES COUNTY, CALIFORNIA; EXCEPT THAT PORTION GRANTED TO THE COUNTY OF LOS ANGELES BY INSTRUMENT RECORDED MARCH 28, 1968, INSTRUMENT NO. 2562 IN BOOK D 3953 AT PAGE 673, OFFICIAL RECORDS OF LOS ANGELES COUNTY, CALIFORNIA.

EXCEPTING ALL MINERALS AND OIL, GAS AND OTHER HYDROCARBON SUBSTANCES UNDER SAID LAND BELOW A DEPTH OF 500 FEET WITHOUT THE RIGHT OF SURFACE ENTRY, AS RESERVED BY ATLANTIC RICHFIELD COMPANY, A CORPORATION, IN A DEED RECORDED OCTOBER 31, 1983, AS INSTRUMENT NO. 83-1286008, OFFICIAL RECORDS.

FOR CONVEYANCING PURPOSES ONLY: APN 5551-018-020

PROJECT DIRECTORY

NATIONAL FIRE PROTECTION ASSOCIATION STANDARD (NFPA 13

OWNER SKYVIEW SUNSET LLC 888 S FIGUEROA ST. LOS ANGELES, CA 90017

ATTN: GRACE KO

E-MAIL: GKO@LRMLTD.COM

TEL: (310) 839-6600 x35

ARCHITECT OF RECORD **NEXT ARCHITECTURE** 100 W. BROADWAY, SUITE 3000 LONG BEACH, CA 90802 ATTN: WINSTON CHANG E-MAIL: WCHANG@NEXT-ARC.COM

TEL: (562) 810-3719

TEL: (925) 746-6000

LANDSCAPE ARCHITECT LRM LTD. 10335 JEFFERSON BLVD, CULVER CITY, CA 90232

CALIFORNIA BUILDING CODE (CBC) 2019

CALIFORNIA PLUMBING CODE (CPC) 2019

CALIFORNIA MECHANICAL CODE (CMC) 2019

CALIFORNIA ELECTRICAL CODE (CEC) 2019

2017 LOS ANGELES GREEN BUILDING CODE

CALIFORNIA FIRE CODE (CFC) 2019

2017 LOS ANGELES BUILDING CODE

CALIFORNIA ENERGY CODE 2019

SURVEYOR **AEI CONSULTANTS** 2500 CAMINO DIABLO WALNUT CREEK, CA, 94597 ATTN: ERIC S. CANTRELL E-MAIL: SURVEYS@AEICONSULTANTS.COM ARCHITECTURAL FLOOR PLAN - LEVEL B1 FLOOR PLAN - LEVEL 1 FLOOR PLAN - LEVEL 2 FLOOR PLAN - LEVEL 3 A103 A104 FLOOR PLAN - LEVEL 4-6 A105 FLOOR PLAN - LEVEL 7 A106 ROOF PLAN EXTERIOR ELEVATIONS A302 **EXTERIOR ELEVATIONS**

LANDSCAPE (FOR REFERENCE ONLY) COMPOSITE PLAN

A402

A901

BUILDING SECTION

BUILDING SECTION

WINDOW SCHEDULE

DOOR SCHEDULE

L001 LEVEL 1 LEVEL 3 LEVEL 7 TREE DISPOSITION PLAN PLANT PALETTE **7901 SUNSET**

7901 SUNSET BLVD. LOS ANGELES, CA 90046

MIXED-USE PROJECT

■ Issues & Revisions

Description 04/15/2020 TOC SUBMITTAL 04/16/2020 100% SCHEMATIC DESIGN

■ Project Number: 19.120

Sheet Title

TITLESHEET

Sheet Number

VICINITY PLAN

HOLLYWOOD BLVD

PROJECT ADDRESS: LOT AREA (SF): LOT APN:

C4-1D

7901 SUNSET BLVD., LOS ANGELES, CA 90046 20,815 pre-dedication (20,065 post-dedication) 5551018020







TOC BASE INCENTIVES:
DENSITY
FAR
PARKING
TOC ADDITIONAL INCENTIVE:

HEIGHT INCREASE

YARDS

100 WEST BROADWAY STE. 3000 LONG BEACH, CA 90802 (562) 810-3719 NEXT ARCHITECTURE EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF NEXT ARCHITECTURE

Architect

Consultant

■ Client/Owner

SKYVIEW SUNSET LLC

888 S FIGUEROA ST. LOS ANGELES, CA 90017

7901 SUNSET

7901 SUNSET BLVD. LOS ANGELES, CA 90046

MIXED-USE PROJECT

Issues	s & Revisions	
No.	Date	Description
	04/15/2020	TOC SUBMITTAL
	04/16/2020	100% SCHEMATIC DESIG
	05/08/2020	PZA SUBMITTAL
		-

■ Project Number: 19.120 ■ Sheet Title

PROJECT SUMMARY

■ Sheet Number

				-							
ZONING			TOC		NO. C	F		FAR		DENS	TY
-	-			LAMC	C4-1D		TOC TIE	R 1		PROV	DED
ARDS/SETBACKS				2.A.18Ac.3	1 PERSONAL PROPERTY IN			PER TOC VII.1 (c	a) (i)		
			Co	mmercial			Commercial				Residential
FRONT YARD SETBACK (Front: 0-ft			Front: 0-f	NI 85 50		2'-1"	
SIDE YARD SETBACK (SU	- Annual Carlot Annual Carlot			Side: 0-ft			Side: 0-f				6'-10"
SIDE YARD SETBACK (NO					5-ft + 5-ft = 10 ft		Side: 0-f	15 32 32		2'-0"	
REAR YARD SETBACK (W	VEST PL):			Rear; 0-ft	15-ft + 4-ft = 19 ft		Rear: 0-ft	15-ff		5'-2"	17'-6"
IEIGHT										7 STC	RIES
NUMBER OF STORIES:			UNI	IMITED (PER I	LAMC R4-1 BASE)		UNLIMITED (PER LAN	C R4-1 BASE)		85'-0" (TOP C	OF ROOF)
HEIGHT LIMIT:			UNI	IMITED (PER I	LAMC R4-1 BASE)		109' - 0" (PER TOC	VII.1.g.ii.1)	TALLEST PORTION FOR	APPURTENANCE /	SCREENING / ARCH. FEATURES (95'-
LOOR AREA RATIO	(FAR)			1	00		2.75			2.7	75
LOOK ARLA KATIO	(1700)				C4-1D BASE)		(Per TOC Sec. \				
OLIUDADIE ABEA (CE	1			20	815						
BUILDABLE AREA (SF	7		(PEI		12.03 DEFINITION)						
CLOOP AREA (CE)				00	015		F7.0.41			F7.6	41
FLOOR AREA (SF)					815 × 1.0 FAR)		57,241 (20,815 SF x 2.	75 FAR)		57,2	41
							5.5.0W)			, ,	
RESIDENTIAL DENSITY (DU) 53 (400 SF PER UNIT PER LAMC R4-1 BASE)			(50% INCREASE PER TOC TIER 1)		62	4					
							(<u> </u>		5	
RESTRICTED AFFORD	DABLE UNITS								(5)		
									(B)	dremely Low Incol	me Units Provided)
PARKING (RESIDENT	TIAL)			(PER LAMO	C 12.21A4)		(PER TOC Sec. VI.2.	a.i.1)			
STUDIO (<3 HABITABLE R	RO NO. UNITS= 1	7	17	STALLS (NO.	units x 1 stalls per)	8.5	STALLS (.5 STALLS X	no. bedrooms)		4	COMPACT
1 BR (3 HABITABLE ROO	M NO. UNITS= 3	1	46.5	STALLS (NO.	units x 1.5 stalls per)	15.5	15.5 STALLS (.5 STALLS X NO. BEDROOMS)			43	STANDARD
2 BR (>3 HABITABLE ROO	ON NO. UNITS= 1	4	28	STALLS (NO.	units x 2 stalls per)	14	14 STALLS (.5 STALLS X NO. BEDROOMS)			4	DISABLED
3 BR (>3 HABITABLE ROO	ON NO. UNITS= 0		0	stalls (no.	units x 2 stalls per)	0	0 STALLS (.5 STALLS X NO. BEDROOMS)			0	TANDEM
TOTAL RESIDENTIAL:	6	2	91.5	RESIDENTS ST	ALLS	38	TOTAL RESIDENTIAL			51	TOTAL RESIDENTIAL PROVIDED
DARVING (COMMERCIA		DED LANGO SC	10.01 A 4)				DED TOC See VI 2 e il				
PARKING (COMMERCIA	(I	YER LAMIC SE	ec. 12.21.A.4)				(PER TOC Sec. VI.2.e.i)				
RESTAURANT	2,000 SF		1/100	20	STALLS					3	COMPACT
SMALL RESTAURANT	1,000 SF		1/200	5	STALLS	10%	REDUCTION			32	STANDARD
RETAIL	3,452 SF		1/250	14	STALLS					2	DISABLED
TOTAL COMMERCIAL:	6,452 SF		The second secon	39	COMMERCIAL STALLS	35	TOTAL COMMERCIA	L		37	TOTAL COMMERCIAL PROVIDED
			elines Sec. V1.2.e.1. Tie		10% reduction in the nonres					88	TOTAL PARKING SPACES PROVIDED
ADVING (DIVE STALLS)	SHORT TERM					CH2	ONG TERM				
ARKING (BIKE STALLS) RESIDENTIAL)	SHORT TERM 1-25 DU	25	1 STALL/10 DU =	2.50		25	1 STALL/1 DU =	25.00		5	SHORT TERM
ese est austrial (ACA) (ACA)	26-100 DU	37	1 STALL/15 DU =	2.47		37		24.67		50	LONG TERM
	101-200 DU	0	1 STALL/20 DU =	0.00		0		0.00			aama laliili
				5	TOTAL SHORT TERM			50	TOTAL LONG TERM	55	TOTAL BIKE PARKING
					SHORT TERM	L	ONG TERM				
ARKING (BIKE STALLS)											
ARKING (BIKE STALLS) COMMERCIAL) PER LAM	1C TABLE 12.21 A.1	6.(a)(2)									
COMMERCIAL) PER LAM	MC TABLE 12.21 A.1 URANT		SF 1 STALL /2,000 SF	2	STALLS	1 STALL	/2,000 SF	2 STALLS		6	SHORT TERM
COMMERCIAL) PER LAM		2,000	SF 1 STALL /2,000 SF SF 2 / RESTAURANT	2 2	STALLS STALLS	1 STALL , 2 / RESTA		2 STALLS 2 STALLS		6	SHORT TERM LONG TERM
COMMERCIAL) PER LAM	urant L restaurant	2,000 1,000		2		2 / RESTA				6	
COMMERCIAL) PER LAM RESTAL SMALL	urant L restaurant	2,000 1,000	SF 2 / RESTAURANT SF 1 STALL /2,000 SF	2	STALLS	2 / RESTA	AURANT	2 STALLS	ERM	6 6	
COMMERCIAL) PER LAM RESTAL SMALL	urant L restaurant	2,000 1,000 3,452	SF 2 / RESTAURANT SF 1 STALL /2,000 SF	2	STALLS STALLS	2 / RESTA	AURANT	2 STALLS 2 STALLS	ERM		LONG TERM

FLOOR AREA SUMMARY		(SEE NOTE 1 & 2)		UNIT MIX SUMMARY					
LEVEL 1	7,018	SF		UNIT TYPE	COUNT	NO. BDRMS.	BR TOTAL	UNIT AVG. SE	JNIT TOTAL S
COMMON/CORRIDOR	153	SF	17	S1	1	1	1	494	494
RECREATION ROOM	413	SF		\$2	8		8	506	4,048
RETAIL/RESTAURANT	6,452	SF		JR. A1	5	1	5	556	2,780
LEVEL 2	0	SF		JR. A2	3	1	3	591	1,773
RESIDENTIAL AREA	0	SF	31	Al	4	1	4	603	2,412
COMMON/CORRIDOR	0	SF		A2	8	1	8	651	5,208
o BALCONIES	0	SF		A3	4	1	4	656	2,624
LEVELS 3	11,015	SF		A4	5	1	5	737	3,685
RESIDENTIAL AREA	9,713	SF		A5	5	1	5	779	3,896
COMMON/CORRIDOR	1,071	SF		A6	5	1	5	784	3,920
o BALCONIES	231	SF	14	B1	4	2	8	949	3,796
LEVEL 4	11,110	SF		B2	5	2	10	1,101	5,505
RESIDENTIAL AREA	9,887	SF	_	В3	5	2	10	1,250	6,250
COMMON/CORRIDOR	992	SF			62		76		46,391
o BALCONIES	231	SF						Ones	J SPACE SI

	02		70		40,
				OPEN SE	PA(
UNIT TYPE	NO. UNITS	HABITABLE RMS.	REQ'D SF	TOTAL REQ'D	
S1	1	2	100	100	
\$2	8	2	100	800	
JR. A1	5	2	100	500	
JR. A2	3	2	100	300	
Al	4	2	100	400	
A2	8	2	100	800	
A3	4	2	100	400	
A4	5	2	100	500	
A5	5	2	100	500	
A6	5	2	100	500	
В1	4	3	125	500	
B2	5	3	125	625	
В3	5	3	125	625	
	62				

TOTAL CREDITED OPEN SPACE % REQ. % PROV. AREA (SF) 50% MAX 44% PRIVATE DECKS 2,900 58 BALCONIES CREDITED 50% MIN 56% COMMON OPEN (COURTYARD + ROOF DECK) 3,650 25% MAX 0% RECREATION ROOM 6,550 CREDITED 6,550 REQUIRED TOTAL NON CREDITED OPEN SPACE AREA (SF) 1,925 PRIVATE DECKS 1,665 COMMON OPEN (COURTYARD + ROOF DECK) 398 RECREATION ROOM 3,988 NON CREDITED = PRIVATE & COMMON OPEN SPACE 913 A MINIMUM OF 25 PERCENT OF THE COMMON OPEN SPACE AREA TOTAL LANDSCAPE AREA REQUIRED -CREDITED 25% SHALL BE PLANTED WITH GROUND COVER, SHRUBS OR TREES. AT LEAST TOTAL LANDSCAPE AREA REQUIRED -NON CREDITED 25% 516 TOTAL LANDSCAPE AREA PROVIDED 1,428 25% TREES REQUIRED 16 TREES PROVIDED

NOTES

1, PER LAMC SEC 12,03, THE AREA CONFINED WITHIN THE EXTERIOR WALLS, NOT INCLUDING EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING OPERATING EQUIPMENT, OR PARKING AREAS, EXCLUDES SPACE DEDICATED FOR BIKE PARKING AS WELL.

2. PER LOS ANGELES ZONING CODE MANUAL PAGE 46 AND PAGES 237-239, AREAS ON BALCONIES SURROUNDED BY THREE WALLS OR FARTHER THAN 5'-0' FROM THE EDGE OF THE BALCONY ARE TO BE COUNTED AS FLOOR AREA. PER ZAI-2007-3430, ALL NON-RECESSED PORTIONS OF BALCONIES ARE EXCLUDED FROM BEING COUNTED AS FLOOR AREA.

— ONE 24-INCH BOX TREE FOR EVERY FOUR DWELLING UNITS SHALL BE PROVIDED ON SITE AND MAY INCLUDE STREET TREES IN THE PARKWAY. PROVIDED AT THE YARD AREA SEE LANDSCAPE DRAWINGS FOR LOCATION

COMMON/CORRIDOR 992 SF

11,110 SF

SF

SF

11,110

9,887

5,878

5,014

772

57,241 SF

RESIDENTIAL AREA

o BALCONIES

o BALCONIES

BALCONIES

LEVELS 7

RESIDENTIAL AREA

RESIDENTIAL AREA

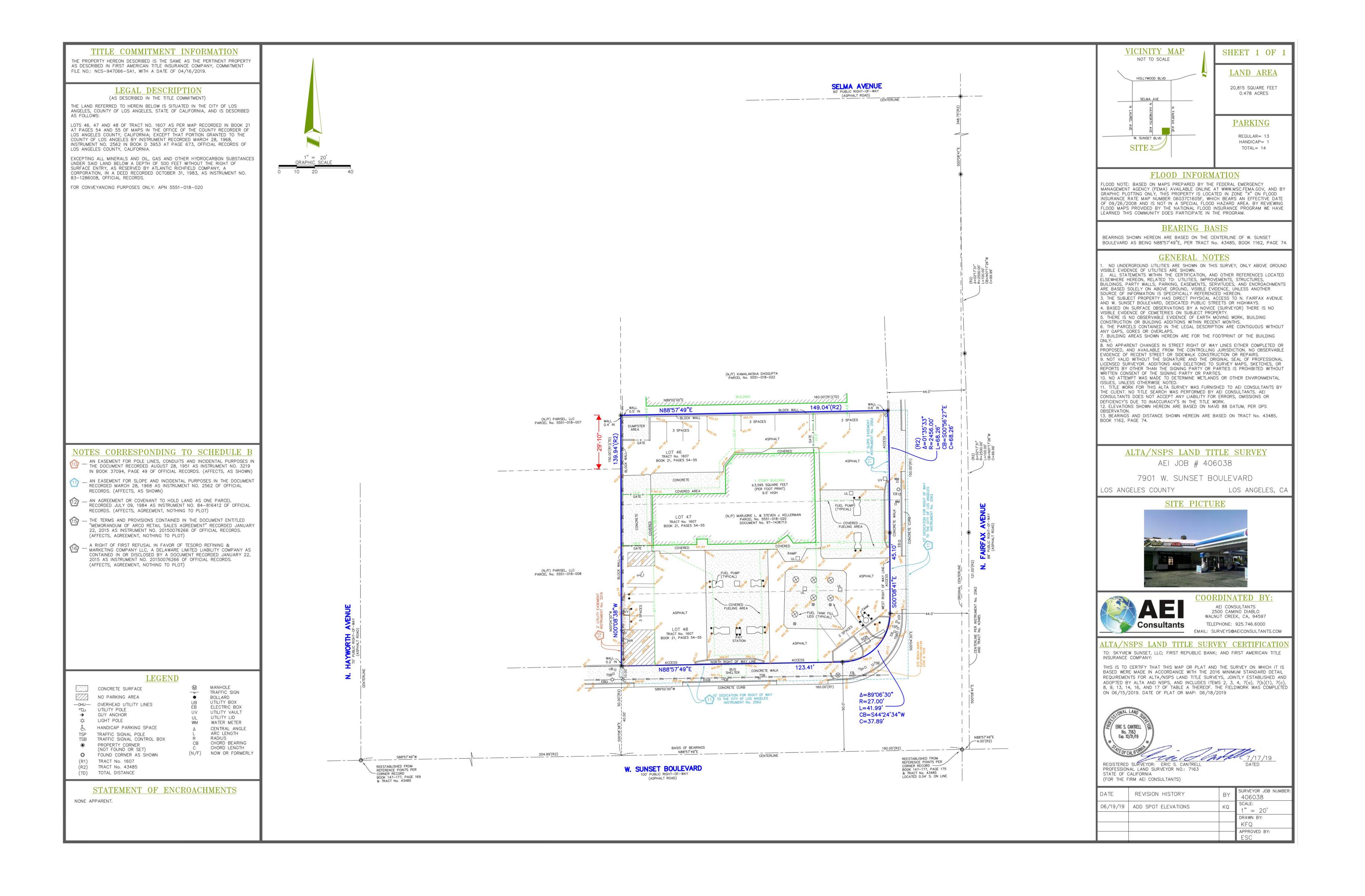
COMMON/CORRIDOR

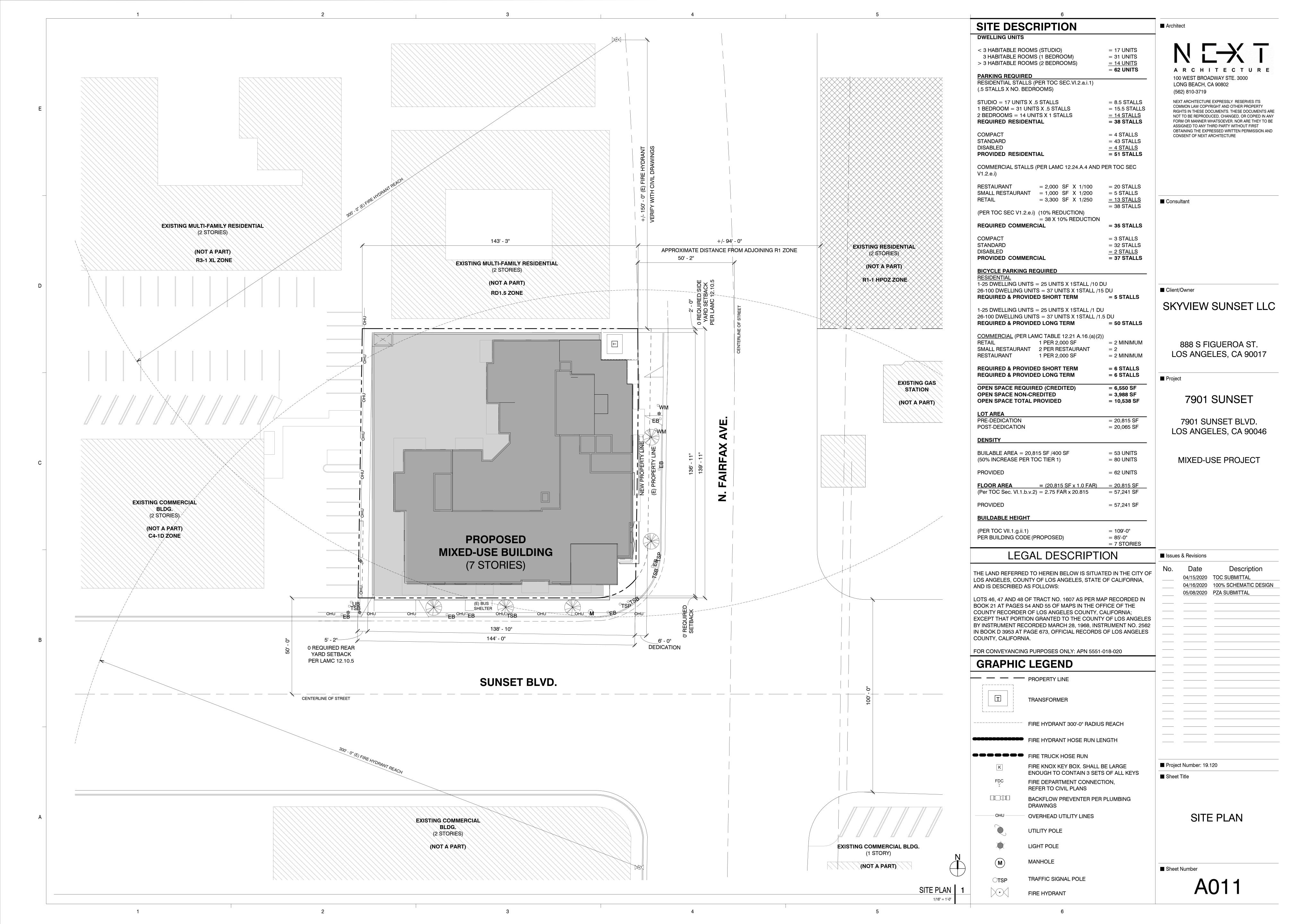
COMMON/CORRIDOR

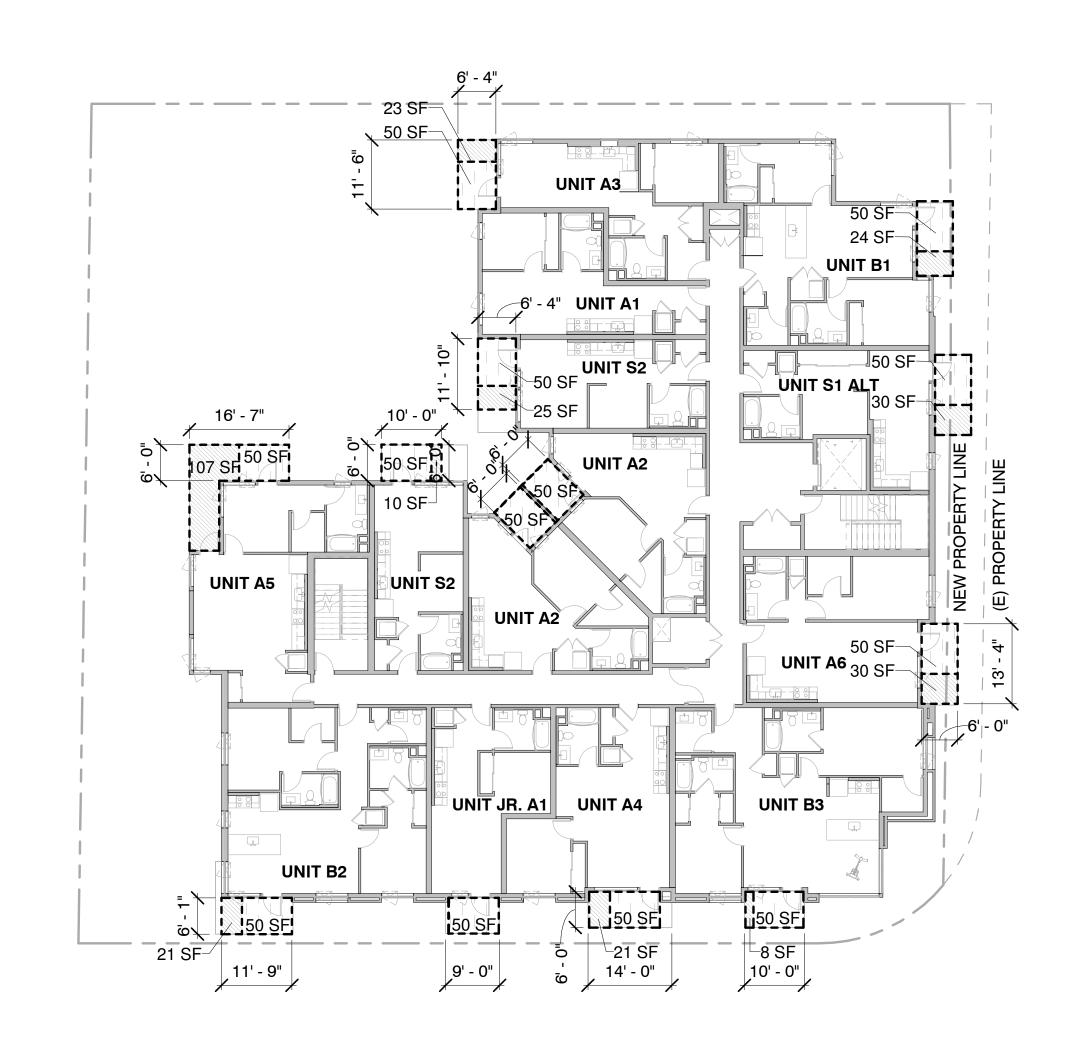
LEVELS 6

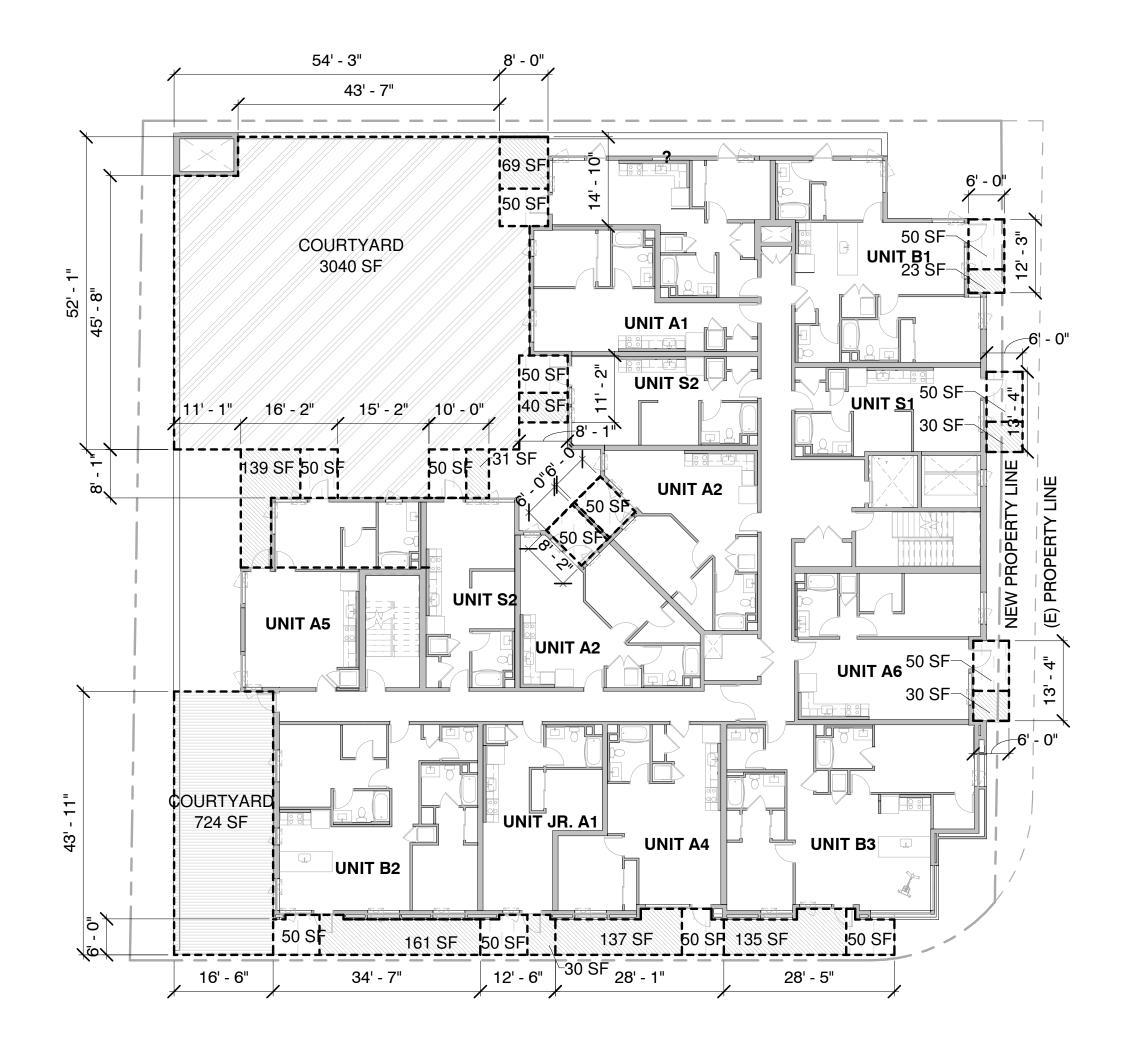
TOTAL OPEN SPACE REQUIRED

6,550

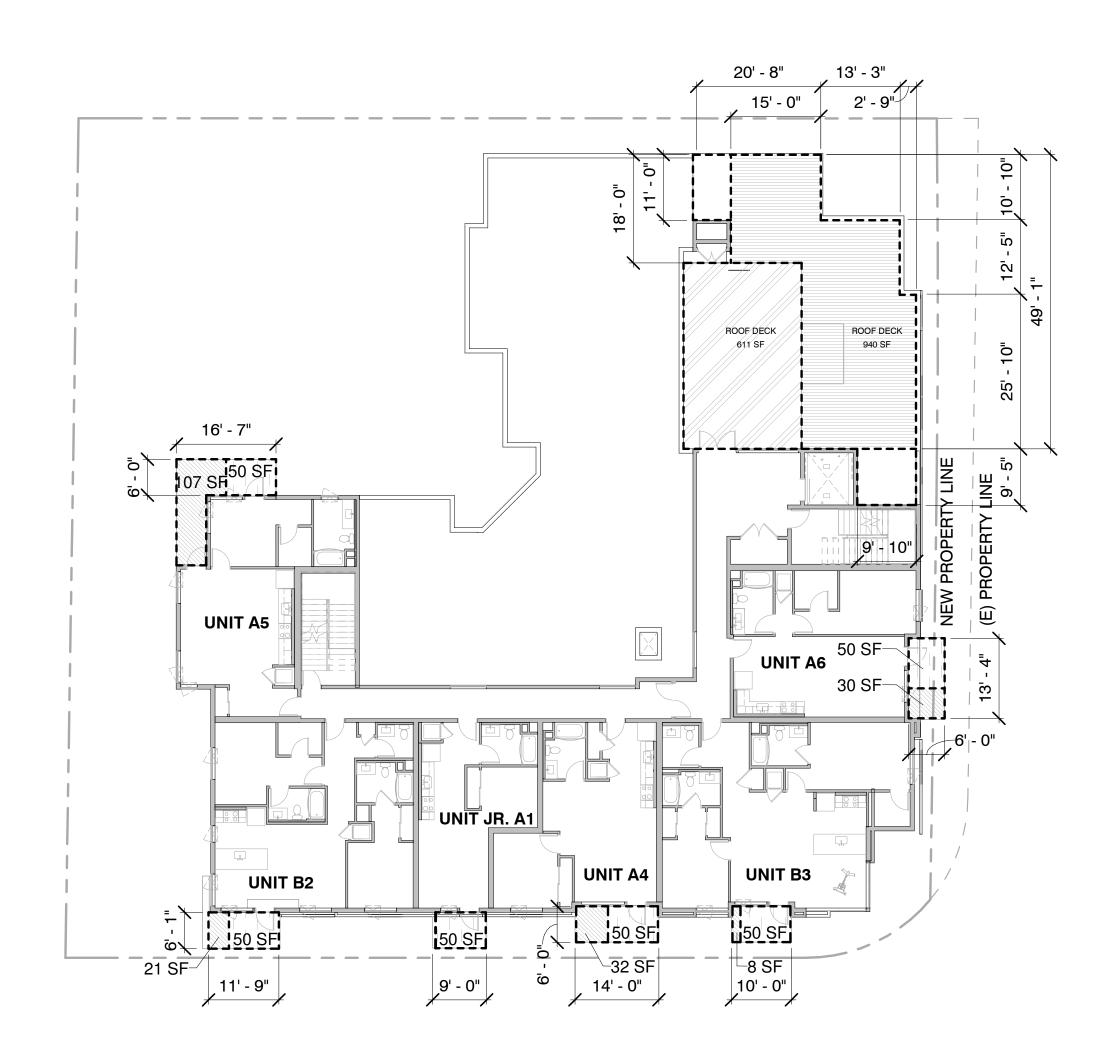


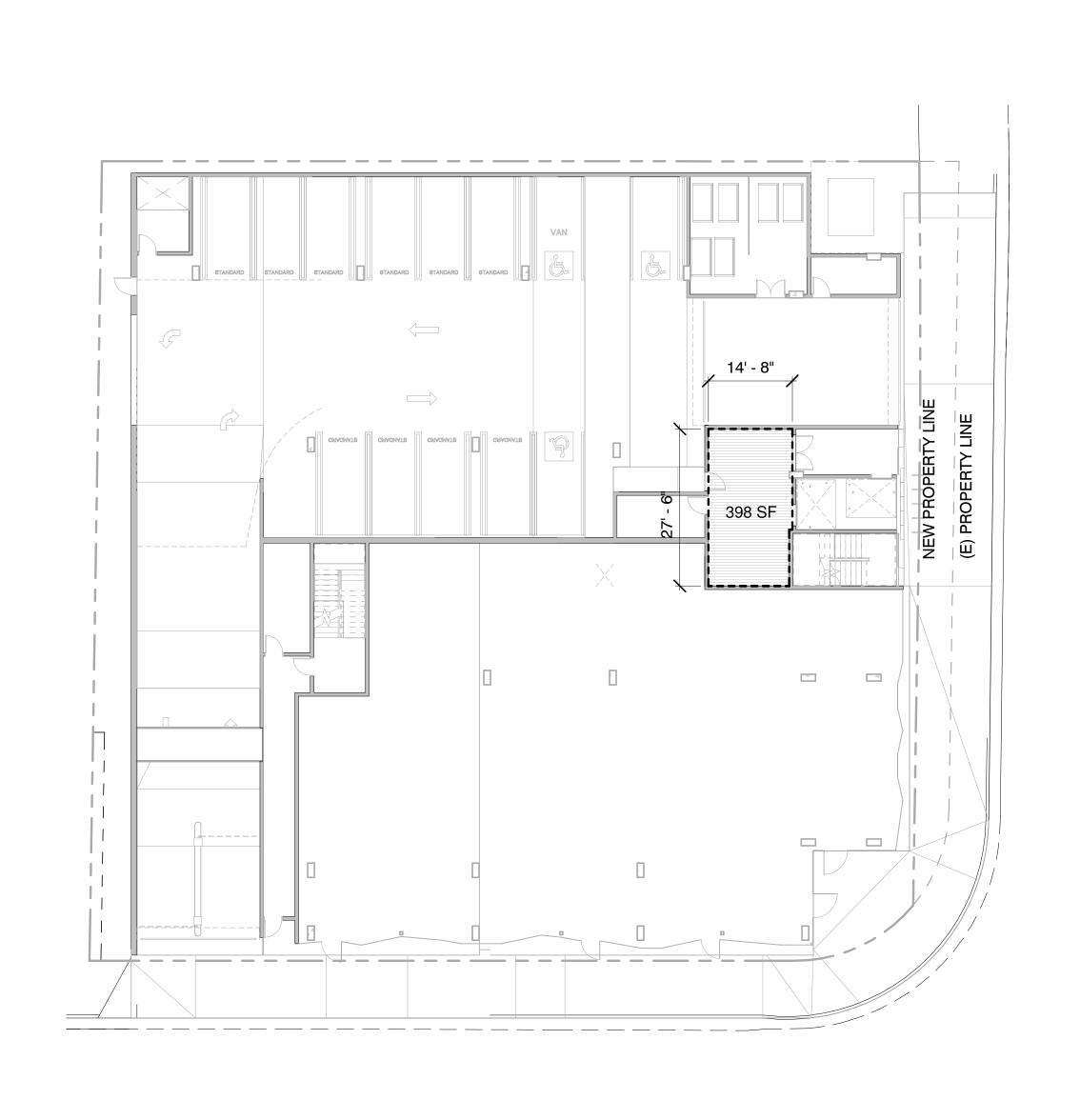






OPEN SPACE DIAGRAM - LEVEL 3





REQUIRED OPEN SPACE Architect UNIT TYP NO. UNITS HABITABLE RMS. REQ'D SF TOTAL REQ'D 100 SF 400 SF UNIT A1 UNIT A2 100 SF 800 SF UNIT A3 100 SF 400 SF UNIT A4 100 SF 500 SF 100 WEST BROADWAY STE. 3000 UNIT A5 100 SF 500 SF LONG BEACH, CA 90802 UNIT A6 100 SF 500 SF (562) 810-3719 UNIT B1 125 SF 500 SF NEXT ARCHITECTURE EXPRESSLY RESERVES ITS UNIT B2 625 SF COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DOCUMENTS. THESE DOCUMENTS AR UNIT B3 625 SF UNIT JR. A1 500 SF UNIT S1 100 SF 100 SF OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF NEXT ARCHITECTURE UNIT S1 ALT 3 100 SF 300 SF UNIT S2 800 SF 6550 SF PRIVATE DECKS CREDITED NON CREDITED UNIT LEVEL 3 UNIT A2 50 SF UNIT A2 50 SF Consultant 50 SF UNIT A3 UNIT A4 50 SF 137 SF UNIT A5 50 SF 139 SF UNIT A6 30 SF 50 SF UNIT B1 23 SF 50 SF UNIT B2 161 SF 50 SF UNIT B3 50 SF 135 SF UNIT JR. A1 50 SF 30 SF UNIT S1 30 SF 50 SF UNIT S2 40 SF 50 SF UNIT S2 50 SF 31 SF 650 SF 826 SF ■ Client/Owner LEVEL 4 UNIT A2 50 SF 0 SF SKYVIEW SUNSET LLC UNIT A2 50 SF 0 SF UNIT A3 50 SF 23 SF UNIT A4 50 SF UNIT A5 50 SF 107 SF UNIT A6 50 SF 888 S FIGUEROA ST. UNIT B1 50 SF 24 SF LOS ANGELES, CA 90017 50 SF UNIT B2 UNIT B3 50 SF UNIT JR. A1 50 SF 0 SF Project UNIT S1 ALT 50 SF 25 SF UNIT S2 50 SF UNIT S2 50 SF 10 SF 7901 SUNSET 650 SF 300 SF LEVEL 5 50 SF UNIT A2 0 SF 7901 SUNSET BLVD. UNIT A2 50 SF 0 SF LOS ANGELES, CA 90046 50 SF UNIT A3 23 SF 50 SF 21 SF UNIT A4 UNIT A5 107 SF 50 SF 50 SF **2** UNIT A6 30 SF MIXED-USE PROJECT UNIT B1 50 SF 24 SF 50 SF UNIT B2 50 SF UNIT B3 50 SF 50 SF 50 SF UNIT JR. A1 UNIT S1 ALT 30 SF UNIT S2 25 SF 50 SF 10 SF UNIT S2 650 SF 300 SF LEVEL 6 UNIT A2 50 SF 0 SF UNIT A2 50 SF 0 SF 50 SF UNIT A3 23 SF UNIT A4 21 SF 50 SF ■ Issues & Revisions UNIT A5 50 SF 107 SF Description UNIT A6 50 SF 30 SF 04/15/2020 TOC SUBMITTAL UNIT B1 24 SF 50 SF 04/16/2020 100% SCHEMATIC DESIGN UNIT B2 50 SF 21 SF UNIT B3 50 SF 8 SF UNIT JR. A1 50 SF 0 SF UNIT S1 ALT 50 SF 30 SF 50 SF 25 SF UNIT S2 UNIT S2 50 SF 10 SF 650 SF 300 SF LEVEL 7 50 SF 50 SF 32 SF UNIT A4 UNIT A5 107 SF 50 SF UNIT A6 30 SF 50 SF UNIT B2 21 SF UNIT B3 50 SF 50 SF 0 SF UNIT JR. A1 300 SF 198 SF 2900 SF 1925 SF TOTAL OPEN SPACE **NON CREDITED** 724 SF 3040 SF 2900 SF 1925 SF ■ Project Number: 19.120 0 SF 398 SF ■ Sheet Title ROOF DECK 611 SF 940 SF 6550 SF 3988 SF **GRAPHICS LEGEND** OPEN SPACE DIAGRAMS COMMON OPEN SPACE (CREDITED) ----- PRIVATE OPEN SPACE (CREDITED) Sheet Number PRIVATE OPEN SPACE (NON CREDITED)

COURTYARD PRIVATE DECK REC ROOM

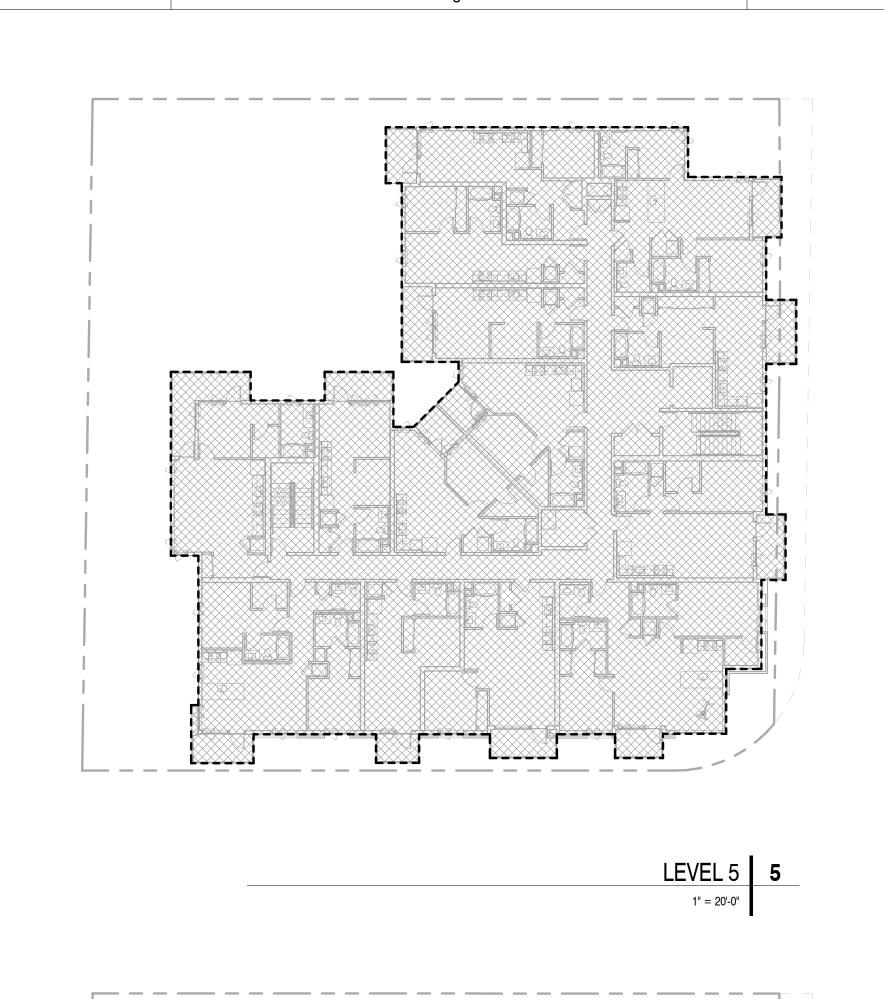
OPEN SPACE DIAGRAM - LEVEL 7 4 1/16" = 1'-0"

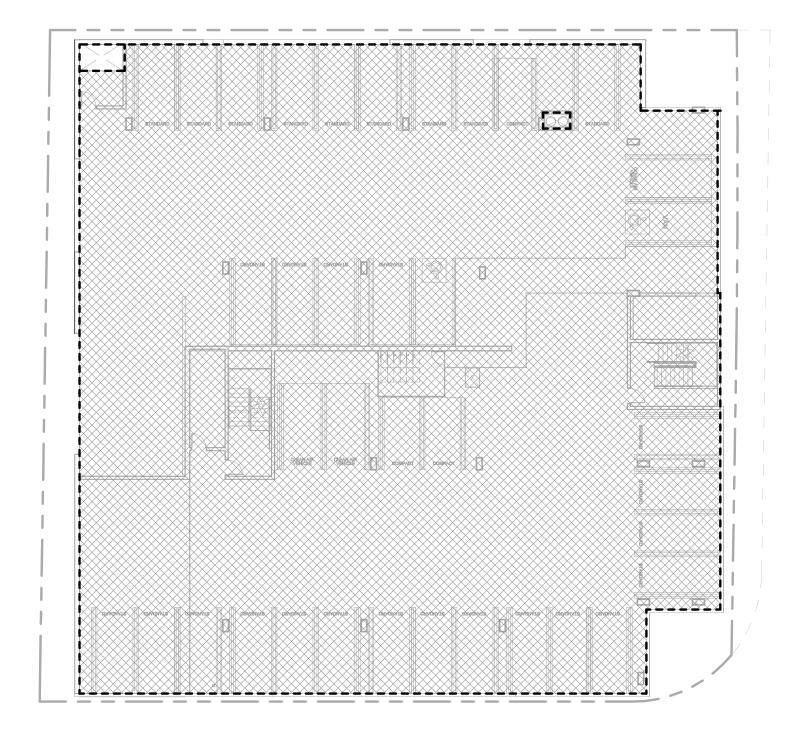
OPEN SPACE DIAGRAM - LEVEL 4-6 3

OPEN SPACE DIAGRAM - LEVEL 1 1

1/16" = 1'-0







APPLIED TO HEIGHT AND STORY, CBC 504.2) PROPOSED DESCRIPTION (CONST. TYPE) GROSS (S.F.) PARKING GARAGE TYPE IA 17,515 PARKING GARAGE TYPE IA 10,788 RETAIL TYPE IA 6.549 PARKING GARAGE TYPE IA 17,463 12,966 4 5 6 7 12,968 RESIDENTIAL TYPE IIIA 12,968 12,968 6,667 TOTAL (OVERALL): 110,853

TOTAL RESIDENTIAL = 62 UNITS

TYPE IA & IIIA (WITH FRONTAGE INCREASE - INCREASE

BUILDING TO BE PROVIDED WITH AUTOMATIC SPRINKLER

PER ADA, PROJECT IS 100% PRIVATELY FUNDED, NO TAX

FLOOR AREA SUMMARIES (BASED ON CBC DEFINITION

SYSTEM IN ACCORDANCE WITH CBC 903.3.1.1 AND NFPA 13;

PROJECT DESCRIPTION:

SUBTERRANEAN PARKING

LEVELS 3-7: RESIDENTIAL PROGRAM

LEVELS 1-2: PARKING &

AND WITH FIRE ALARM

OF BUILDING AREA):

CREDIT, NOT PUBLIC HOUSING

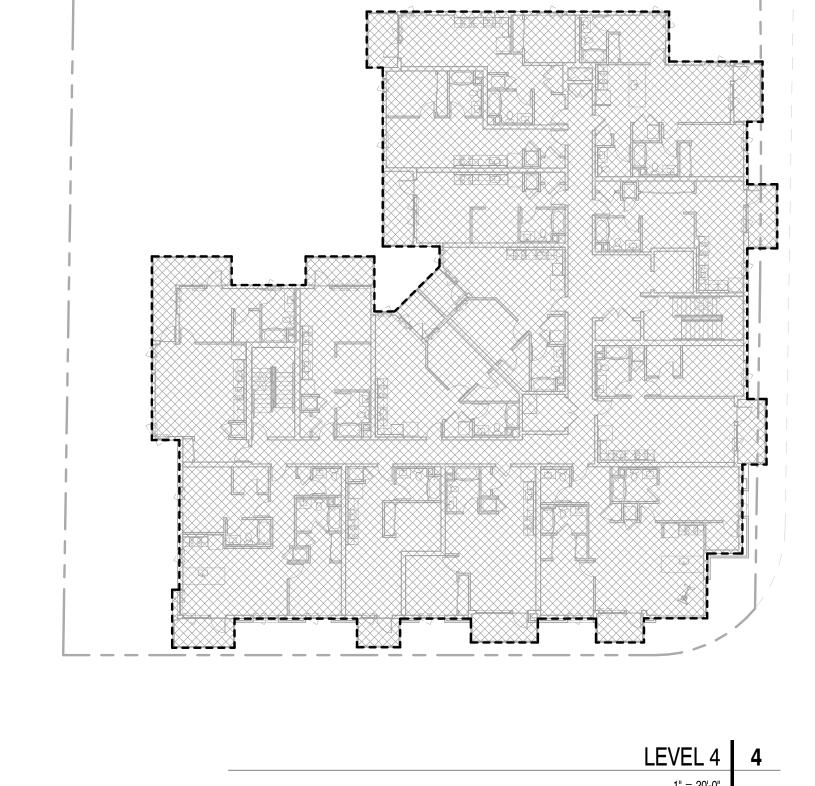
RETAIL PROGRAM

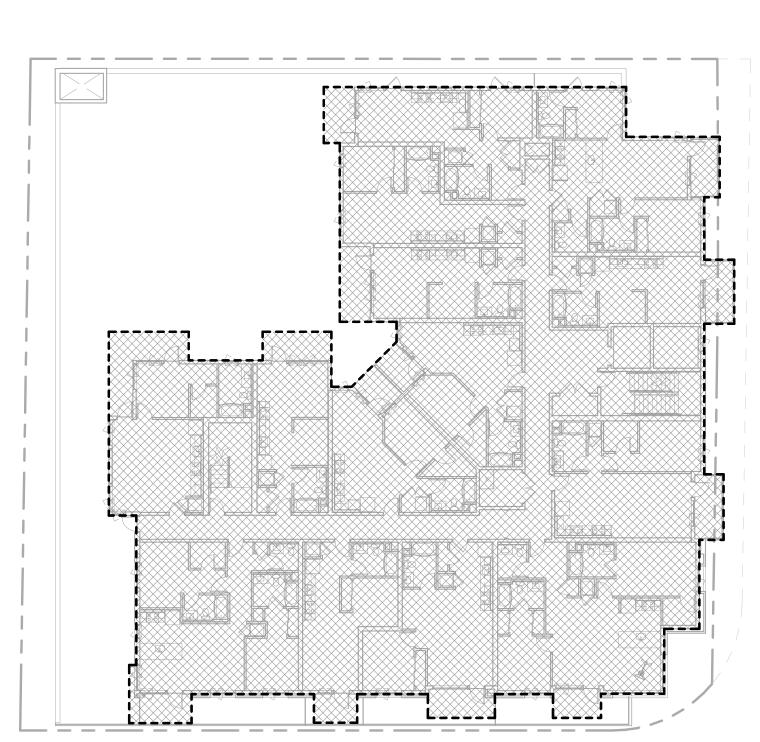
BUILDING SITE AREA:

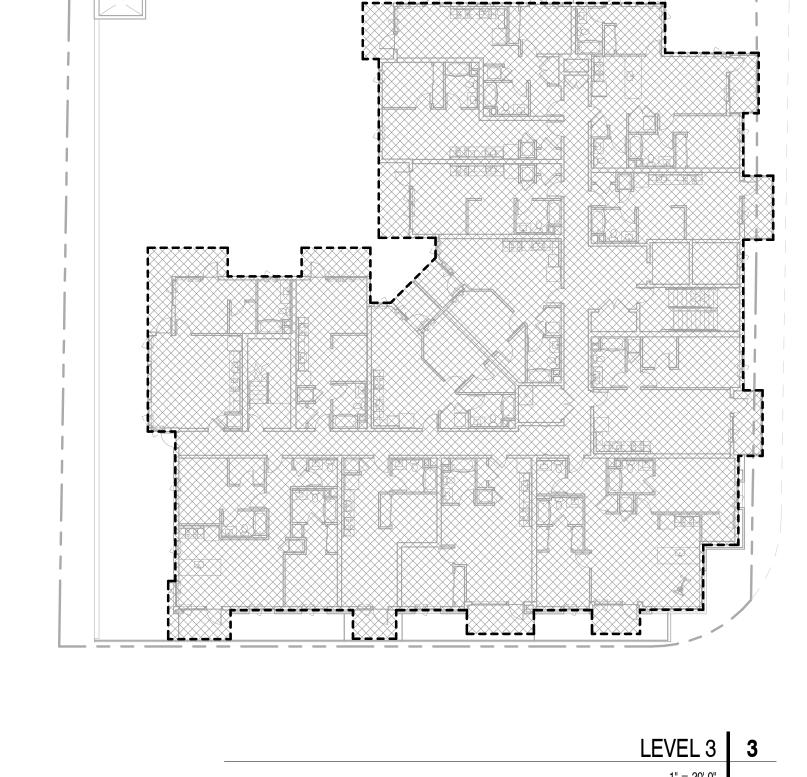
LEVEL 2 2 1" = 20'-0"

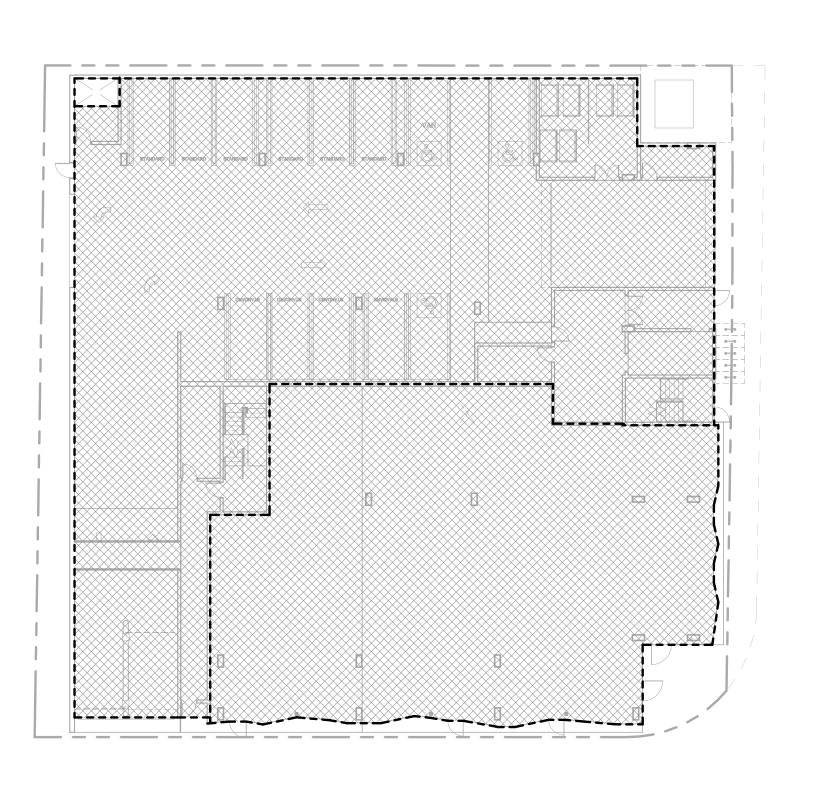
__________ ROOF ABOVE

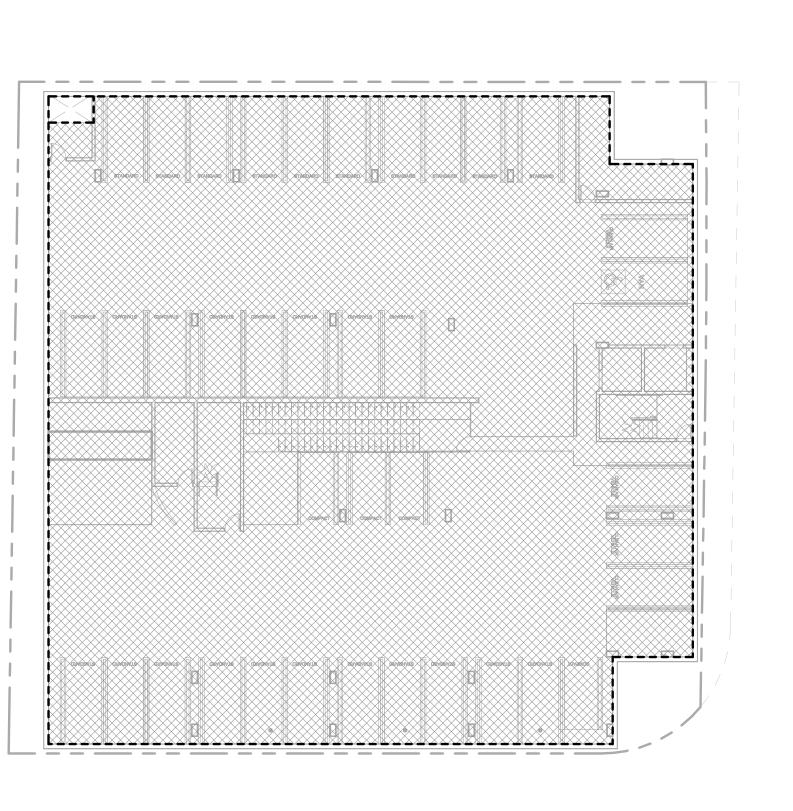
properties and a second











PROJECT SUMMARY Architect

20,815 SF

TOTALS

1 LEVEL

5 LEVELS

100 WEST BROADWAY STE. 3000 LONG BEACH, CA 90802

(562) 810-3719

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Consultant

Client/Owner

SKYVIEW SUNSET LLC

888 S FIGUEROA ST. LOS ANGELES, CA 90017

Project

7901 SUNSET

7901 SUNSET BLVD. LOS ANGELES, CA 90046

MIXED-USE PROJECT

■ Issues & Revisions

■ Project Number: 19.120

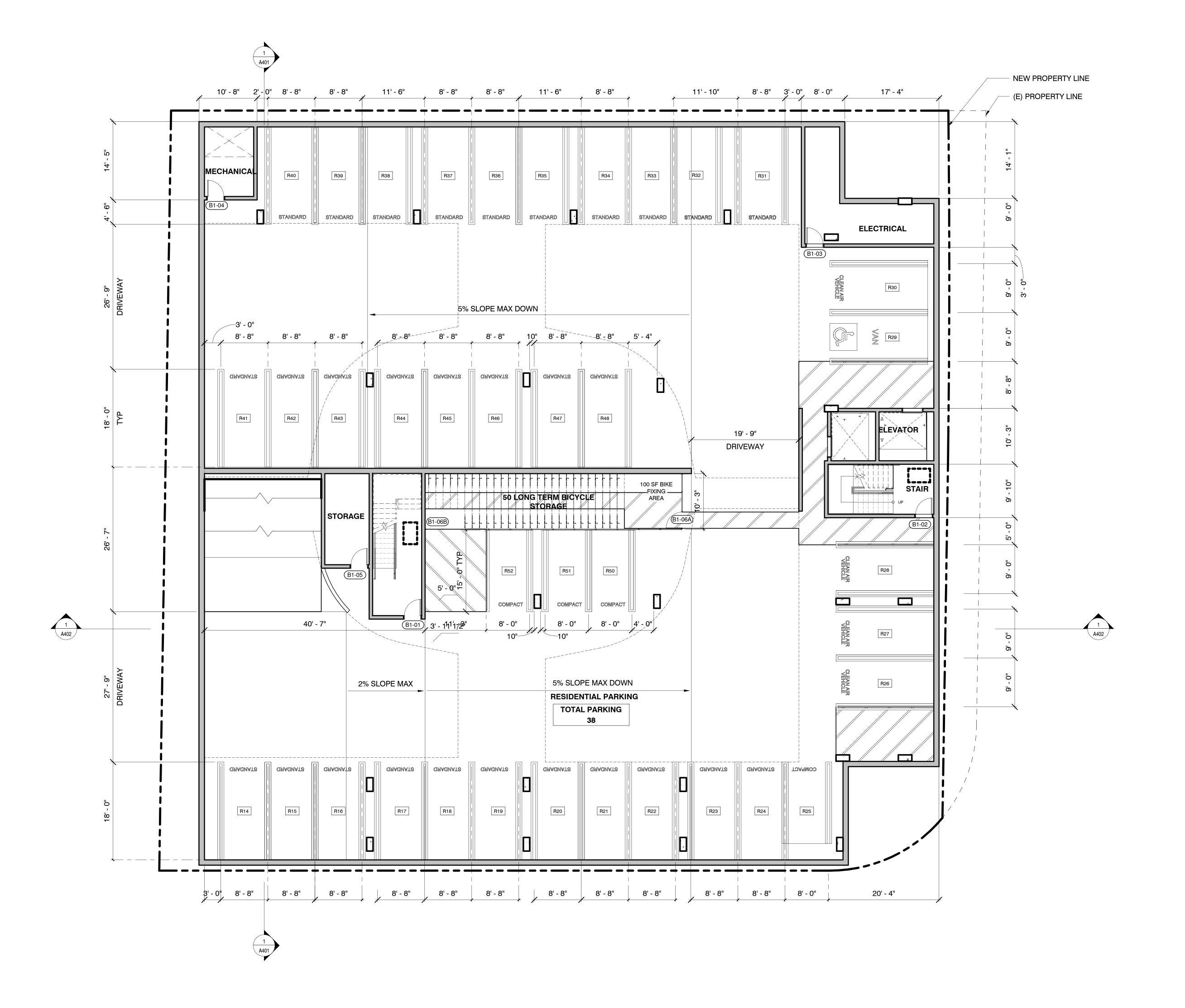
■ Sheet Title

■ Sheet Number

BUILDING AREA

LEVEL 6 6

LEVEL B1 8



1. REFER TO SHEET "GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS" FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.

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5. APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.

6. REFER TO SHEET "WALL TYPES" FOR WALL TYPE DETAILS. 7. REFER TO SHEETS "BUILDING CODE ANALYSIS" FOR EGRESS, CODE ANALYSIS, AND FIRE-RATED ASSEMBLY INFORMATION.

8. REFER TO SHEET "WINDOW SCHEDULE AND TYPES" AND "STOREFRONT SCHEDULE AND TYPES" FOR WINDOW AND STOREFRONT TYPES AND GLAZING INFORMATION. 9. REFER TO SHEET "DOOR SCHEDULE AND TYPES" FOR DOOR

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SURFACE. 15. PROVIDE 2A-10BC FIRE EXTINGUISHER IN LOCATIONS AS REQUIRED BY FIRE DEPARTMENT. PROVIDE SIGN, APPROVED BY THE FIRE DEPARTMENT, REQUIRED TO INDICATE THE LOCATION OF THE FIRE EXTINGUISHER.

Architect

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Consultant

■ Client/Owner

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LOS ANGELES, CA 90046

MIXED-USE PROJECT

Description

Project

■ Issues & Revisions

Date

04/15/2020 TOC SUBMITTAL

05/08/2020 PZA SUBMITTAL

04/16/2020 100% SCHEMATIC DESIGN

No.

LADBS NOTES

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- 4. A SHAFT HAVING WALL, FLOOR, AND CEILING OF FIRE RATED CONSTRUCTION SHALL ENCLOSE ALL OPENINGS IN FLOORS. (713.1) 5. RECESSED CEILING LIGHT FIXTURES MUST BE BOXED
- AROUND WITH 5/8" TYPE "X" DRYWALL TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY. 6. CONTINUOUS DRYWALL SHALL BE PROVIDED BEHIND ALL
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- 7. EXHAUST FANS FROM THE BATHROOM SHALL ENTER THROUGH THE WALL. DAMPERS WHERE CEILING IS PENETRATED. (717.5)
- 8. PLUMBING PENETRATION THROUGH HORIZONTAL OCCUPANCY SEPARATIONS SHALL BE BOXED OUT AND FILLED WITH APPROVED SAFING MATERIAL
- 9. DAMPERS SHALL BE PROVIDED AT PENETRATION OF THE 1 HOUR CEILING BY DUCTS FROM THE FAU AND THE STOVE HOOD, USING A DUCTLESS HOOD WHERE ACCEPTABLE; INCLUDING IN ATTIC UNITS. (711)
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- 11. ALL PLUMBING PENETRATIONS THRU WALLS WHICH REQUIRE PROTECTED OPENINGS (FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS) SHALL BE GALVANIZED OR CAST IRON PIPING.

PARKING SUMMARY

ACCESSIBLE COMPACT EVSE STANDARD TOTAL

GRAPHICS LEGEND

■ Project Number: 19.120

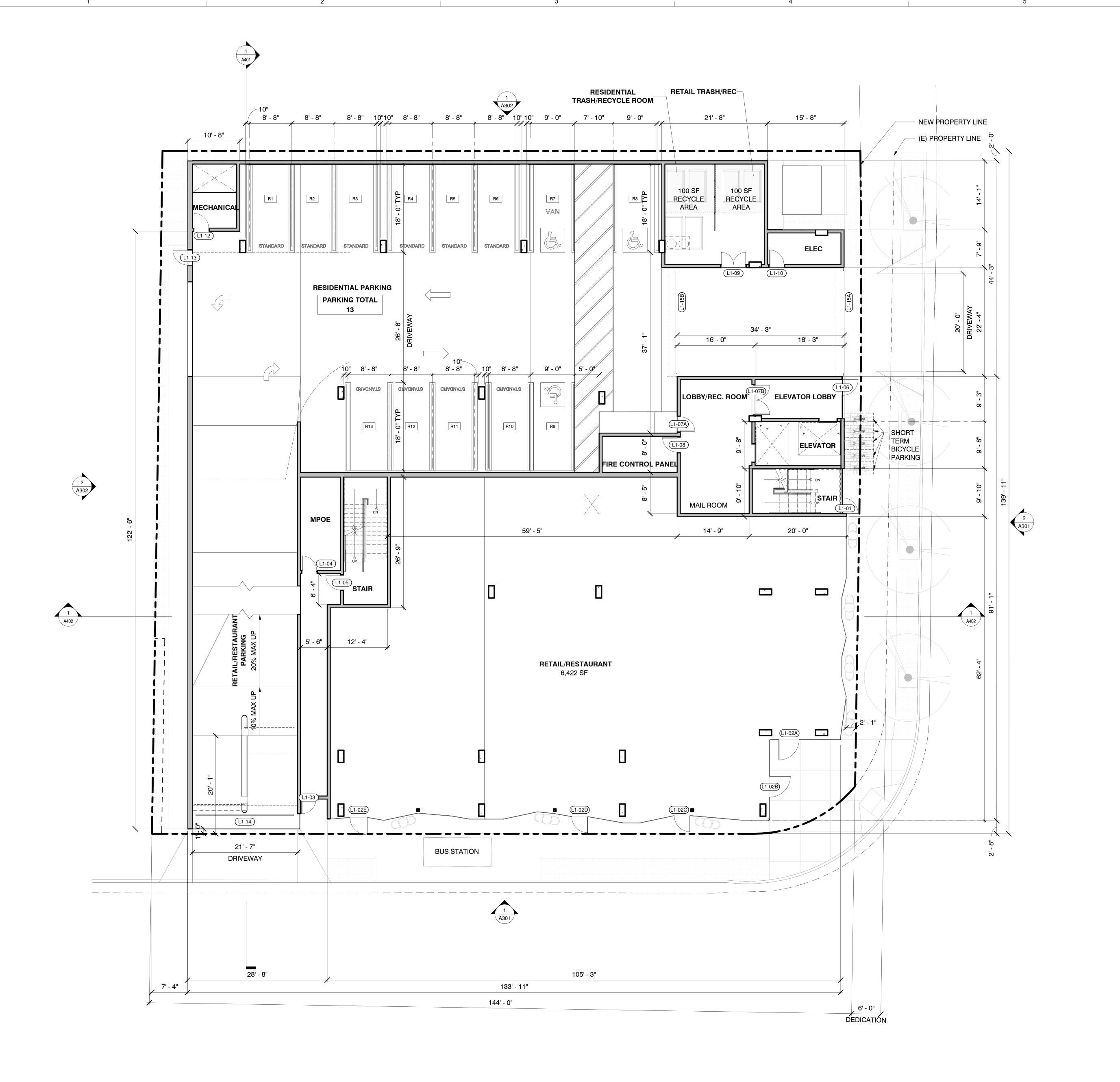
■ Sheet Title

FLOOR PLAN - LEVEL B1

■ Sheet Number

A1B1

FLOOR PLAN - LEVEL B1 1



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Consultant

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888 S FIGUEROA ST. LOS ANGELES, CA 90017

7901 SUNSET

7901 SUNSET BLVD.

LOS ANGELES, CA 90046

MIXED-USE PROJECT

Description

Project

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ACCESSIBLE STANDARD TOTAL

GRAPHICS LEGEND

■ Sheet Title

■ Project Number: 19.120

■ Issues & Revisions

No.

Date

04/15/2020 TOC SUBMITTAL

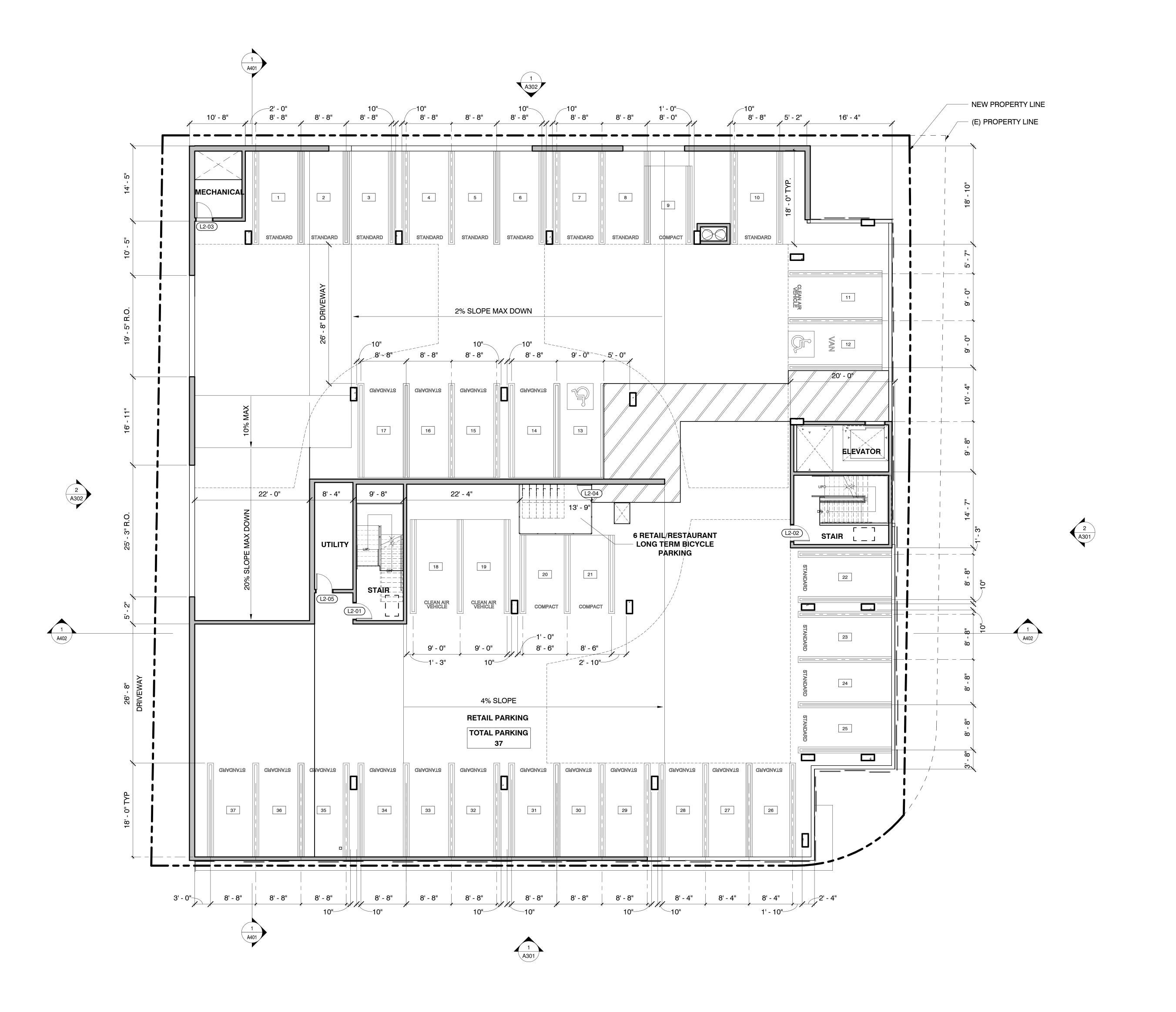
04/16/2020 100% SCHEMATIC DESIGN

FLOOR PLAN - LEVEL 1

■ Sheet Number

A101

FLOOR PLAN - LEVEL 1 1



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Architect

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Consultant

■ Client/Owner

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LOS ANGELES, CA 90046

MIXED-USE PROJECT

Description

Project

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PARKING SUMMARY

ACCESSIBLE СОМРАСТ STANDARD TOTAL

GRAPHICS LEGEND

■ Project Number: 19.120

■ Issues & Revisions

Date

04/15/2020 TOC SUBMITTAL

04/16/2020 100% SCHEMATIC DESIGN

No.

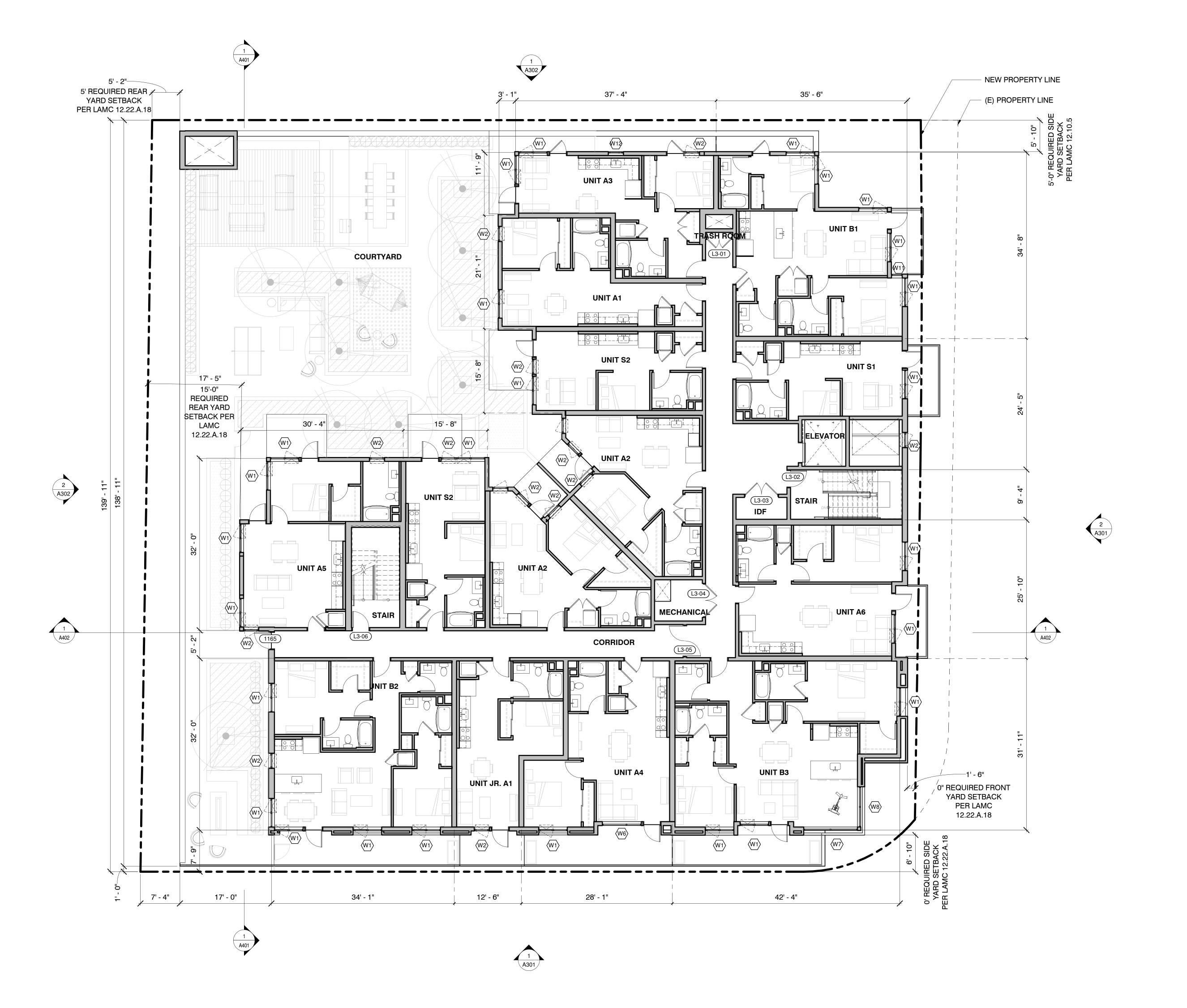
■ Sheet Title

FLOOR PLAN - LEVEL 2

■ Sheet Number

A102

FLOOR PLAN - LEVEL 2 1



1. REFER TO SHEET "GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS" FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.

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MIXED-USE PROJECT

Project

■ Issues & Revisions

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04/15/2020 TOC SUBMITTAL 04/16/2020 100% SCHEMATIC DESIGN

Description

PARKING SUMMARY

■ Sheet Title **GRAPHICS LEGEND**

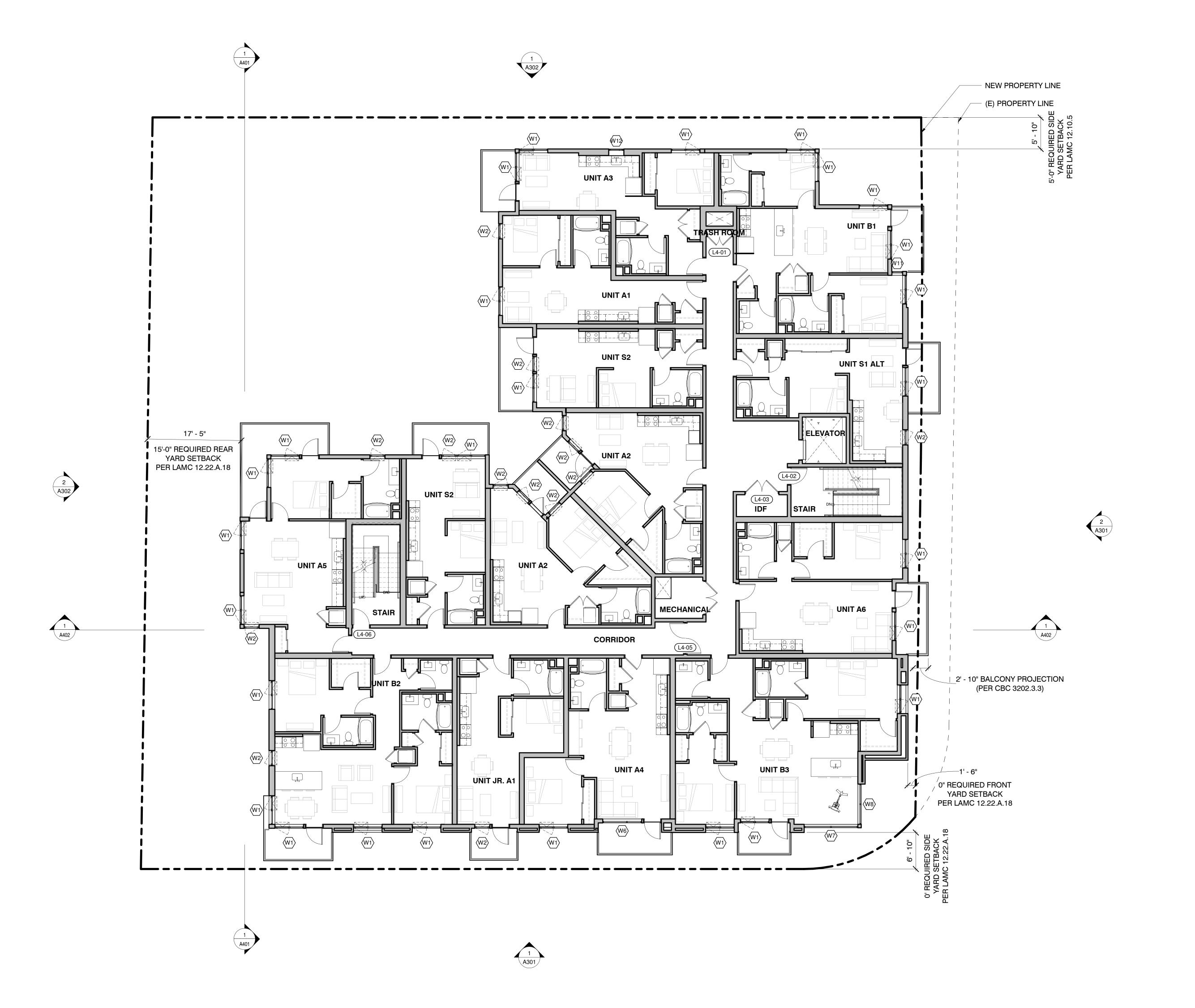
FLOOR PLAN - LEVEL 3

■ Sheet Number

■ Project Number: 19.120

A103

FLOOR PLAN - LEVEL 3 1



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5. APPROVED SET OF PLANS FOR BUILDING, FIRE SPRINKLER, FIRE ALARM, ETC. SHALL BE ON THE JOB SITE DURING CONSTRUCTION AND NO INSPECTIONS WILL BE MADE WITHOUT COMPLIANCE WITH THE ABOVE PROVISION.

6. REFER TO SHEET "WALL TYPES" FOR WALL TYPE DETAILS. 7. REFER TO SHEETS "BUILDING CODE ANALYSIS" FOR EGRESS, CODE ANALYSIS, AND FIRE-RATED ASSEMBLY INFORMATION.

8. REFER TO SHEET "WINDOW SCHEDULE AND TYPES" AND "STOREFRONT SCHEDULE AND TYPES" FOR WINDOW AND STOREFRONT TYPES AND GLAZING INFORMATION. 9. REFER TO SHEET "DOOR SCHEDULE AND TYPES" FOR DOOR

SIZES AND TYPES. 10. REFER TO LANDSCAPE DRAWINGS FOR COLORS, FINISHES, THICKNESS, REINFORCING, AND CONTROL/EXPANSION

JOINTS OF WALKS AND HARDSCAPE AREA. 11. ALL ILLUMINATED EXIT SIGNS SHOWN SHALL BE CLEARLY VISIBLE AND NOT OBSTRUCTED BY PIPES, MECHANICAL DUCTWORK, EQUIPMENT, ETC. CONTRACTOR TO PROVIDE PENDANT EXTENSIONS AT ALL CEILING HUNG EXIT SIGNS AS

REQUIRED PER GOVERNING CODE REQUIREMENTS. 12. WALKING SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP-RESISTANT SURFACE AND BE SECURELY ATTACHED.

13. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS SHALL BE STABLE, FIRM, AND SLIP RESISTANT. 14. PROVIDE FURRED WALLS AS REQUIRED FOR ALL UTILITY AND DRAIN LINES THAT EXTEND UP THE INTERIOR WALL

SURFACE. 15. PROVIDE 2A-10BC FIRE EXTINGUISHER IN LOCATIONS AS REQUIRED BY FIRE DEPARTMENT. PROVIDE SIGN, APPROVED BY THE FIRE DEPARTMENT. REQUIRED TO INDICATE THE LOCATION OF THE FIRE EXTINGUISHER.

Architect

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LOS ANGELES, CA 90046

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LADBS NOTES

- 1. THERE SHALL BE CONTINUOUS DRYWALL BEHIND ALL TUBS UNLESS THE WALLS ARE WITHIN THE UNIT AND NON-
- 2. ALL INTERIOR BEARING WALLS SHALL BE CONSTRUCTED OF NOT LESS THAN 1-HOUR FIRE-RESISTIVE CONSTRUCTION.
- 3. ATTIC ACCESS OPENINGS IN 1-HOUR CEILING SHALL BE 2 LAYERS OF 3/4" PLYWOOD OR ONE LAYER OF 1-5/8" T&G
- MATERIAL, SELF-CLOSING. 4. A SHAFT HAVING WALL, FLOOR, AND CEILING OF FIRE RATED CONSTRUCTION SHALL ENCLOSE ALL OPENINGS IN FLOORS. (713.1)
- 5. RECESSED CEILING LIGHT FIXTURES MUST BE BOXED AROUND WITH 5/8" TYPE "X" DRYWALL TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY.
- 6. CONTINUOUS DRYWALL SHALL BE PROVIDED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICINE
- 7. EXHAUST FANS FROM THE BATHROOM SHALL ENTER THROUGH THE WALL. DAMPERS WHERE CEILING IS
- PENETRATED. (717.5) 8. PLUMBING PENETRATION THROUGH HORIZONTAL OCCUPANCY SEPARATIONS SHALL BE BOXED OUT AND
- FILLED WITH APPROVED SAFING MATERIAL 9. DAMPERS SHALL BE PROVIDED AT PENETRATION OF THE 1 HOUR CEILING BY DUCTS FROM THE FAU AND THE STOVE HOOD, USING A DUCTLESS HOOD WHERE ACCEPTABLE; INCLUDING IN ATTIC UNITS. (711)
- 10. STEEL BEAMS AND COLUMNS SHALL BE PROTECTED FOR 1-HOUR PROTECTION. WHERE CEILING FORMS THE PROTECTIVE MEMBRANE FOR FIRE-RESISTIVE ASSEMBLIES (OCCUPANCY SEPARATIONS AND RATED ROOF/CEILING OR FLOOR/CEILING ASSEMBLIES), THE CONSTRUCTION (FLOOR JOISTS) AND THEIR SUPPORTING HORIZONTAL STRUCTURAL MEMBERS (BEAMS) SHALL BE INDIVIDUALLY FIRE PROTECTED EXCEPT WHERE SUCH MEMBERS SUPPORT DIRECTLY APPLIED LOADS FROM MORE THAN ONE FLOOR OR ROOF. THE REQUIRED FIRE RESISTANCE SHALL NOT BE LESS THAN THAT REQUIRED FOR INDIVIDUAL PROTECTION OF MEMBERS. (704.3)
- 11. ALL PLUMBING PENETRATIONS THRU WALLS WHICH REQUIRE PROTECTED OPENINGS (FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS) SHALL BE GALVANIZED OR CAST IRON PIPING.

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05/08/2020 PZA SUBMITTAL

04/16/2020 100% SCHEMATIC DESIGN

Description

■ Issues & Revisions

No.

Date

PARKING SUMMARY

■ Project Number: 19.120 **GRAPHICS LEGEND**

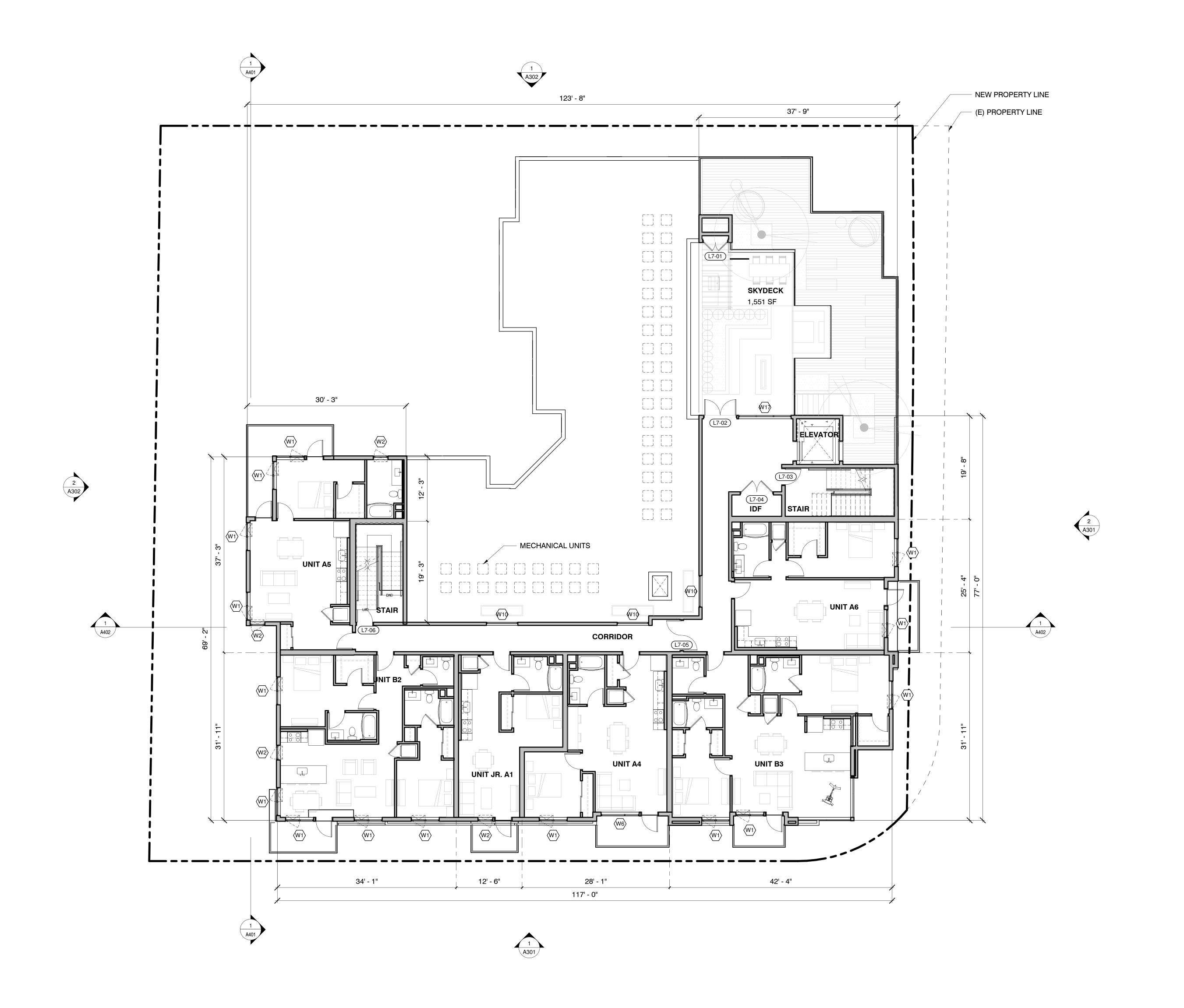
■ Sheet Title

FLOOR PLAN - LEVEL 4-6

■ Sheet Number

A104

FLOOR PLAN - LEVEL 4-6 1



- 1. REFER TO SHEET "GENERAL NOTES, SYMBOLS, AND ABBREVIATIONS" FOR GRAPHIC SYMBOLS AND ABBREVIATIONS.
- 2. DIMENSIONS ARE TO CENTERLINE OF COLUMN, FACE OF STUD, FACE OF CONCRETE, OR FACE OF MASONRY, UNLESS NOTED OTHERWISE.
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LOS ANGELES, CA 90046

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■ Issues & Revisions

No. Description 04/15/2020 TOC SUBMITTAL 04/16/2020 100% SCHEMATIC DESIGN

PARKING SUMMARY

■ Project Number: 19.120 ■ Sheet Title

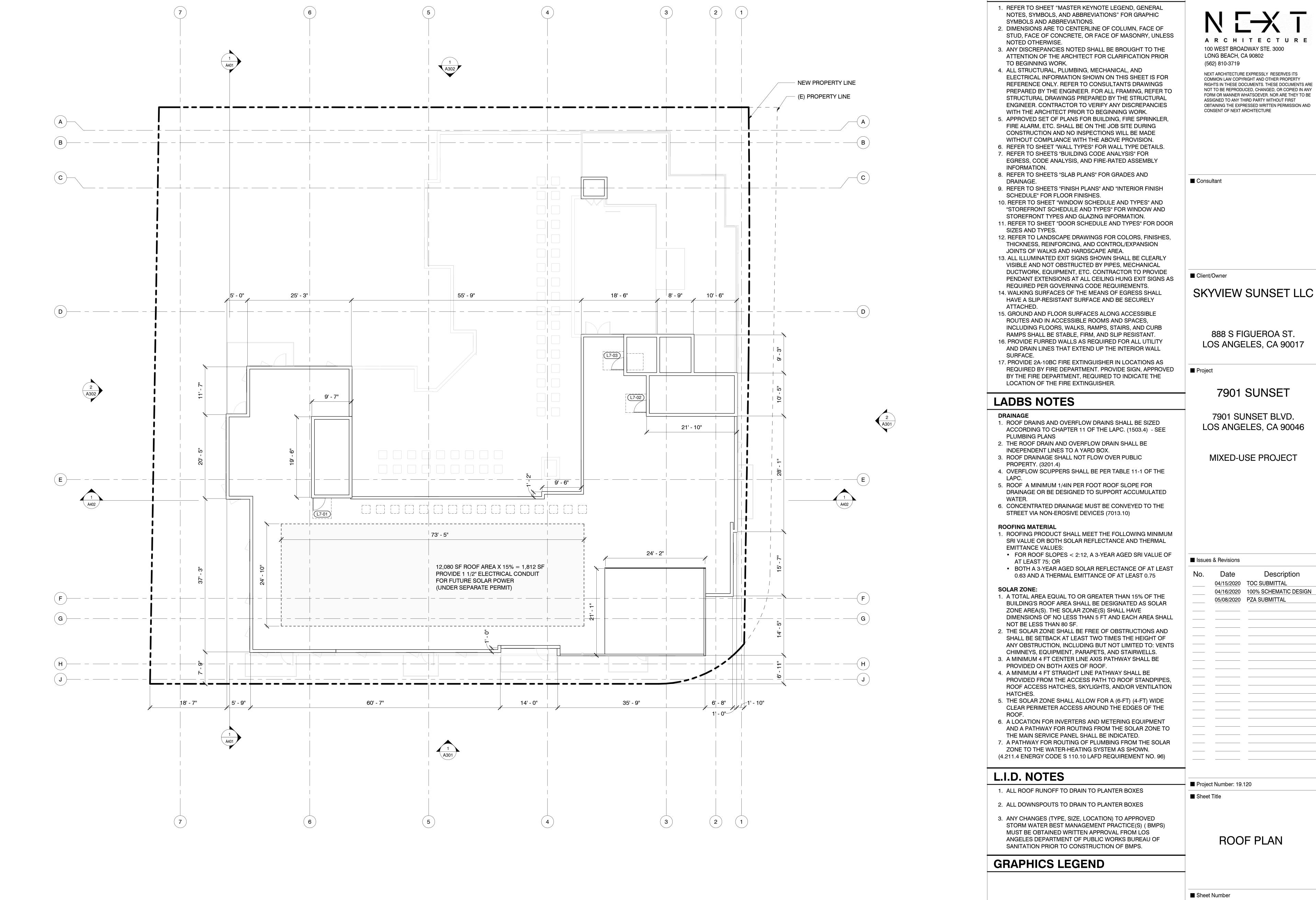
FLOOR PLAN - LEVEL 7

■ Sheet Number

A105

GRAPHICS LEGEND

FLOOR PLAN - LEVEL 7 1



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ROOF PLAN NOTES

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ROOF PLAN 1

1/8" = 1'-0"

A106



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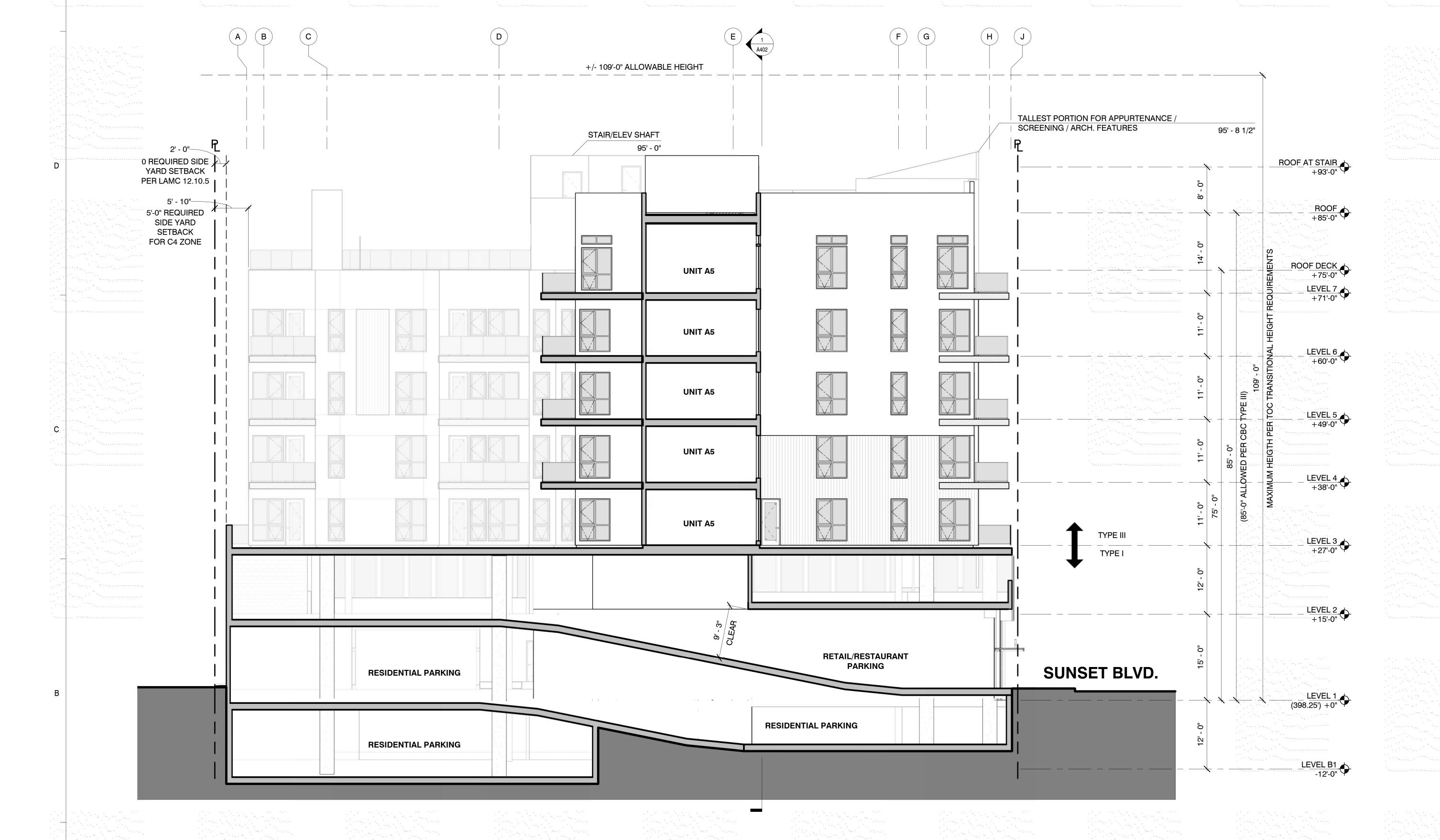


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ELEVATION NOTES

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04/16/2020 100% SCHEMATIC DESIGN



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SECTION NOTES

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- 6. REFER TO SHEETS "INTERIOR FINISH SCHEDULE", "EXTERIOR ELEVATIONS", "INTERIOR ELEVATIONS", "REFLECTED CEILING PLANS", AND "FINISH PLANS" FOR FINISHES.
- 7. ALL WATERPROOFING ELEMENTS ARE TO BE UNDER THE CONTRACTOR'S SCOPE OF WORK. THIS INCLUDES THE ROOF MEMBRANE, WALL SCUPPER, PARAPET CORNER, PARAPET WALL FLASHING, AND TYPICAL FLASHING DETAILS PER MANUFACTURER STANDARDS. CONTRACTOR TO VERIFY WITH ROOFING MANUFACTURE IF WALK PADS ARE REQUIRED.
- 8. BUILDING TO BE PROTECTED WITH SPRINKLER SYSTEM PER CURRENT NFPA STANDARDS. PROVIDE SPRINKLERS WITHIN ROOF, FLOOR, AND CEILING ASSEMBLIES.
- 9. REFER TO SHEET A0.17 FOR FLOOR/CEILING TYPES.
- 10. REFER TO SHEET "WINDOW SCHEDULE AND TYPES" AND "STOREFRONT SCHEDULE AND TYPES" FOR WINDOW AND STOREFRONT TYPES AND GLAZING INFORMATION.
- 11. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHT FIXTURES.
- 12. AT EVERY PRIMARY PUBLIC ENTRANCE 60" A.F.F., ADJOINING THE ENTRY DOOR, THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE COLOR SHALL BE PER GOVERNING CODE REQUIREMENTS.
- 13. ALL SURFACES NOT ELEVATED OR CALLED OUT SHALL MATCH ADJACENT SURFACES.
- 14. SHOP DRAWINGS FOR ARCHITECTURAL METAL SHALL SHOW DIMENSIONS, WEIGHT, AND CONNECTIONS REQUIRED TO ACCOMMODATE THE GALVANIZING AND SPECIAL PAINTING PROCESSES. SHOP DRAWINGS SHALL INCLUDE OVERALL DIAGRAM FOR CONNECTIONS AND DETAILS OF THOSE CONNECTIONS. ALL CONNECTIONS SHALL BE WELDED, GRIND, SMOOTH, AND SHOP PRIMED AND PAINTED.
- 15. CONTRACTOR SHALL VERIFY ALL MATERIALS, COLORS, AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES NOTED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO BEGINNING
- 16. FINISHES SHOWN CAN BE ASSUMED TO WRAP AROUND PROJECTING ELEMENTS UNLESS NOTED OTHERWISE.
- 17. PAINT CONDUIT TO MATCH ADJACENT SURFACE.
- 18. ALL AREAS WHERE SMOOTH PLASTER OCCURS, CONTRACTOR TO PROVIDE BASE COAT AND MESH-CRACK ISOLATION SYSTEM, REFER TO SPECIFICATION.
- 19. GLASS DOOR, ADJACENT PANELS, AND ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF SAFETY GLAZING, REFER TO SPECIFICATION. REFER TO "T" NOTATION ON EXTERIOR ELEVATIONS.

6

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■ Client/Owner

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Project

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Description 04/15/2020 TOC SUBMITTAL 04/16/2020 100% SCHEMATIC DESIGN

GRAPHICS LEGEND

■ Project Number: 19.120

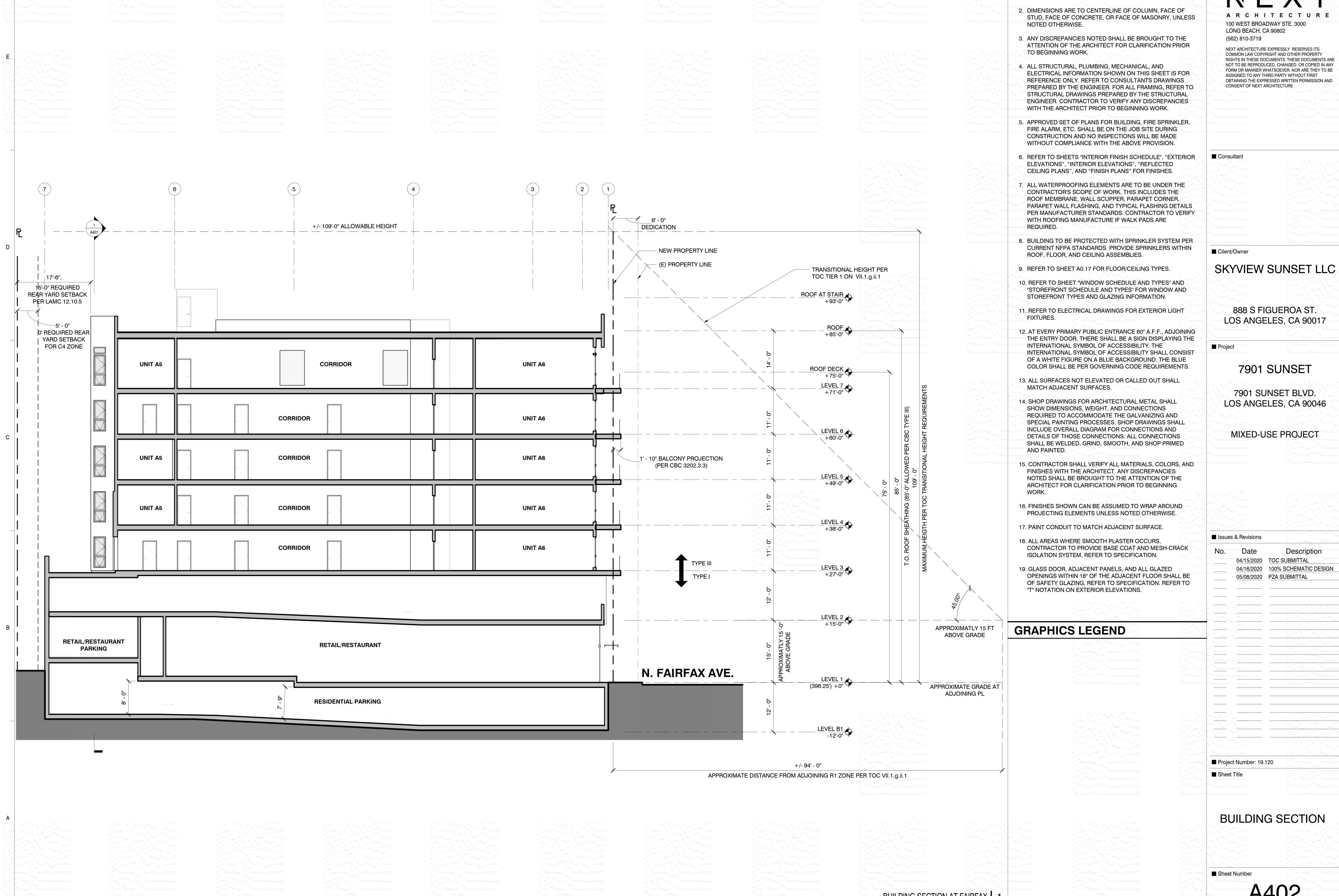
Sheet Title

BUILDING SECTION

Sheet Number

1/8" = 1'-0"

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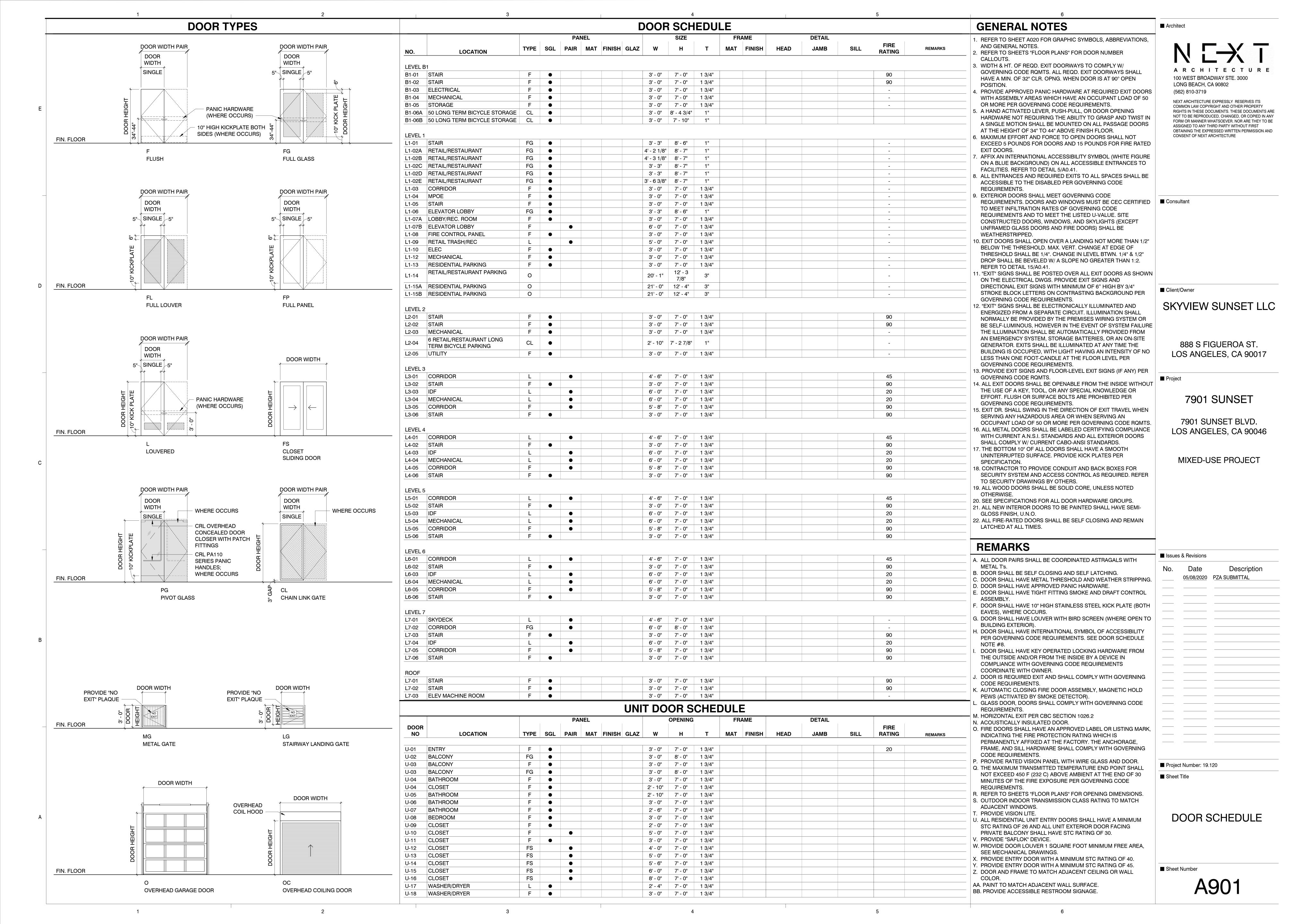
■ Architect

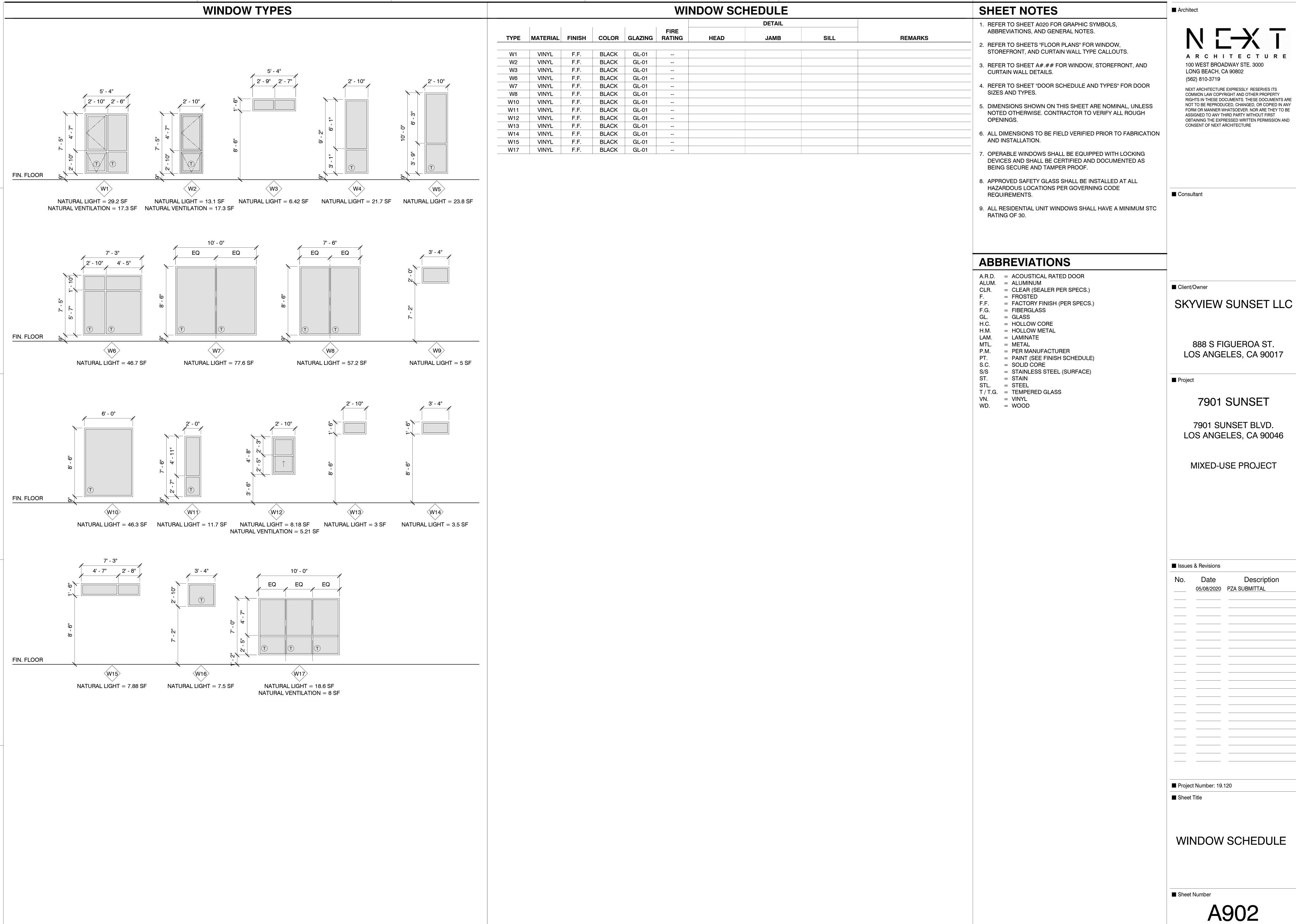
SECTION NOTES

1/8" = 1'-0"

SYMBOLS AND ABBREVIATIONS.

1. REFER TO SHEET "MASTER KEYNOTE LEGEND, GENERAL" NOTES, SYMBOLS, AND ABBREVIATIONS" FOR GRAPHIC







LANDSCAPE CALCULATIONS TOTAL OPEN SPACE REQUIRED 6,550 SF 10,538 SF TOTAL OPEN SPACE QUALIFIED CREDITED COMMON OPEN SPACE 3,650 SF 913 SF 25% OF CREDITED COMMON OPEN SPACE NON CREDITED COMMON OPEN SPACE 2,063 SF 25% OF NON CREDITED COMMON OPEN SPACE <u>516 SF</u> TOTAL PLANTED AREA REQUIRED & PROVIDED <u>1,429 SF</u> QUANTITY OF UNITS IN DEVELOPMENT QUANTITY OF TREES REQUIRED (1 TREE/ 4 UNITS) QUANTITY OF TREES PROVIDED **CANOPY TREE** STREET TREE

NOTE: SHRUBS AND/OR TREES SHALL BE CONTAINED WITHIN PERMANENT PLANTERS AT LEAST 30-INCHES IN DEPTH, AND LAWN OR GROUND COVER SHALL BE AT LEAST 12-INCHES IN

DEPTH.

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No.	Date	Descrip
	05/08/2020	PZA SUBMITTAL
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■ Project Number: 19.120

■ Sheet Title

COMPOSITE PLAN

■ Sheet Number

L000



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Project Number: 19.120

■ Sheet Title

LEVEL 1

■ Sheet Number

L001



LEGEND

- 1 PROPOSED STREET TREE
- (2) OUTDOOR TABLE AND CHAIRS
- (3) ENHANCED PAVING
- (4) SHADE TREE
- 5 FIREPLACE WITH LOUNGE SEATING
- 6 BBQ AND BAR COUNTER
- 7 FAMILY TABLE AND CHAIRS
- 8 PING PONG TABLE
- (9) SHADE STRUCTURE
- (10) ARTIFICIAL TURF
- 11 RAISED PLANTER
- (12) HEDGE
- 13 BBQ COUNTER
- 14) LOUNGE FURNITURE WITH FIRE PIT
- (15) STAIRS
- 16 DAY BED
- 17) SPA
- 18 POOL ENCLOSURE
- 19 PORTABLE PLANTER
- 20 PARAPET PLANTER
- 21) BIKE RACK

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■ Project Number: 19.120

■ Sheet Title

LEVEL 3

■ Sheet Number

L002



LEGEND

- 2 OUTDOOR TABLE AND CHAIRS

- 10 ARTIFICIAL TURF

- (15) STAIRS
- 16 DAY BED
- (17) SPA
- 18 POOL ENCLOSURE
- 20 PARAPET PLANTER
- 21) BIKE RACK



③ ENHANCED PAVING

(4) SHADE TREE

(5) FIREPLACE WITH LOUNGE SEATING

6 BBQ AND BAR COUNTER

7 FAMILY TABLE AND CHAIRS

8 PING PONG TABLE

9 SHADE STRUCTURE

11 RAISED PLANTER

12 HEDGE

13 BBQ COUNTER

14 LOUNGE FURNITURE WITH FIRE PIT

19 PORTABLE PLANTER

■ Issues & Revisions

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LRM

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LOS ANGELES, CA 90017

7901 SUNSET

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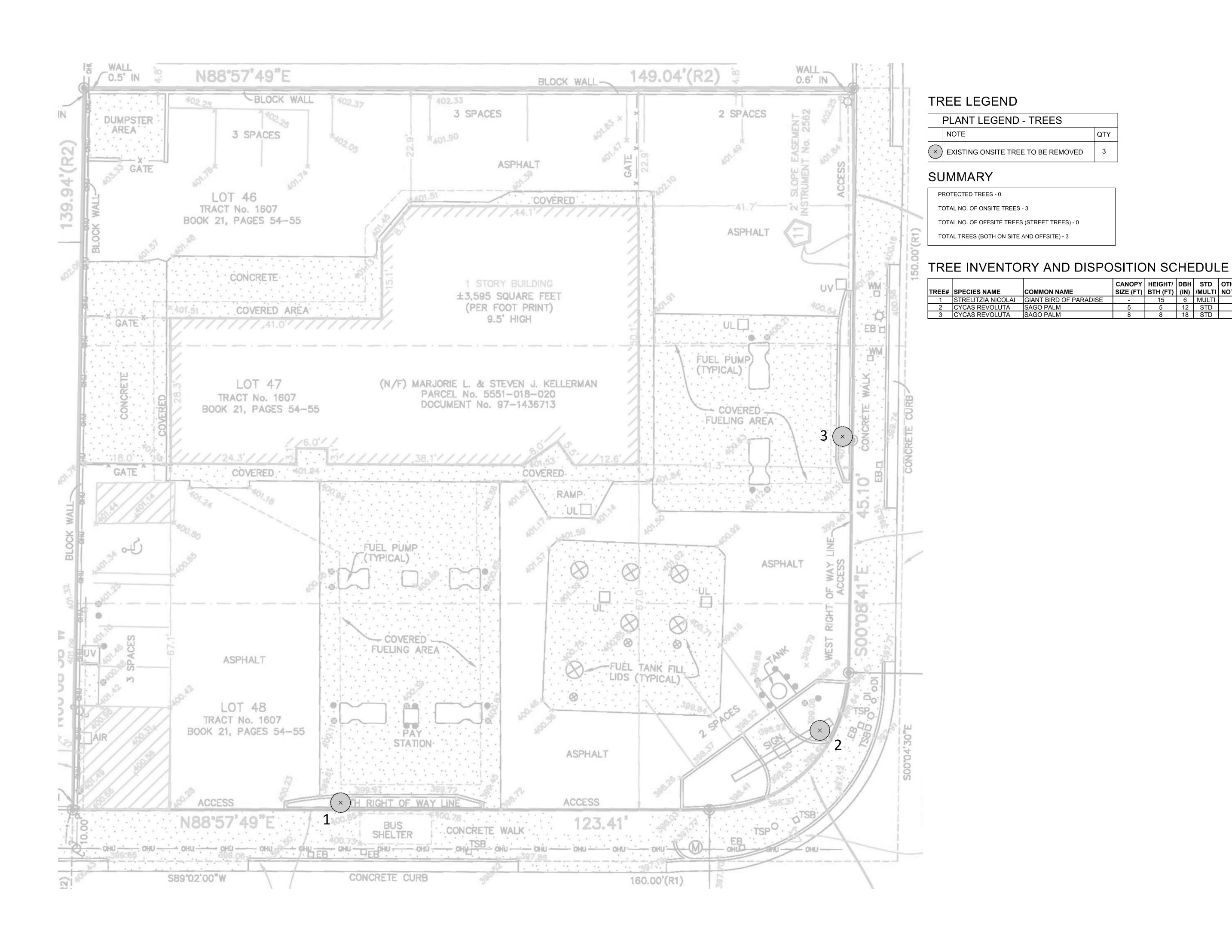
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■ Sheet Title

LEVEL 7

■ Sheet Number



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Consultant

QTY

 CANOPY SIZE (FT)
 HEIGHT/BTH (IN)
 DBH (IN)
 STD (IN)
 OTHER NOTECTED(NOTES)
 REMOVE (Y/N)

 15
 6
 MULTI
 N
 Y

 5
 5
 12
 STD
 N
 Y

 8
 8
 18
 STD
 N
 Y



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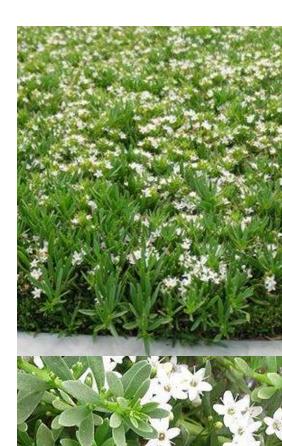
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TREE DISPOSITION PLAN

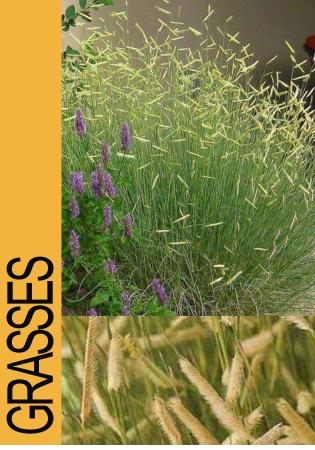
■ Sheet Number



MYOPORUM PARVIFOLIUM 'PUTAH CREEK' creeping myoporum 4" POTS @ 8" O.C.



SENECIO MANDRALISCAE blue chalk sticks 1 GAL @ 12" O.C.



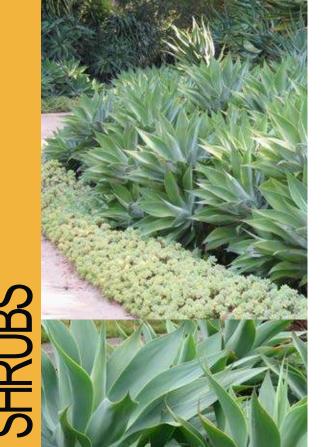
BOUTELOUA GRACILIS 'BLONDE AMBITION' blonde ambition blue grama grass 1 GAL @ 12" O.C.



LOMANDRA LONGIFOLIA 'BREEZE' dwarf mat rush 1 GAL @ 12" O.C.



PENNISETUM 'FAIRY TAILS' everygreen fountain grass 1 GAL @ 12" O.C.



AGAVE ATTENUATTA fox tail agave -MIX TO CREATE NATURAL CLUMP 5 GAL @ 18" O.C. 15 GAL @ 24" O.C.



ASPIDISTRA ELATIOR 'VARIEGATA' variegated cast iron plant



CAREX 'FEATHER FALLS' variegated japanese sedge 5 GAL @ 18" O.C.



small cape rush 5 GAL @ 18" O.C.



BLUE' blue flax lily 5 GAL @ 18" O.C



Architect

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Description



DIETES BICOLOR

fortnight Lily

winterbourne philodendron 5 GAL @ 18" O.C.



EUPHORBIA 'BLACKBIRD'

blackbird Spurge 5 GAL @ 18" O.C.

POLYSTICHUM MUNITUM western sword fern 5 GAL @ 18" O.C.

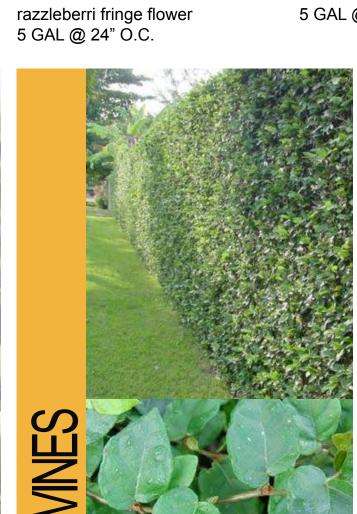


LIRIOPE 'GIGANTEA'

5 GAL @ 18" O.C.

giant lily turf

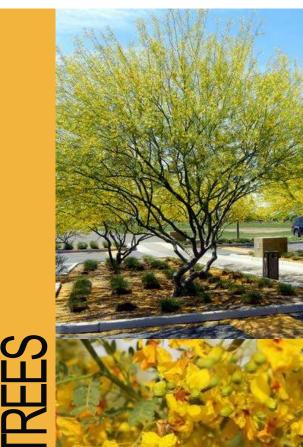
SANSEVIERIA TRIFASCIATA 'LAURENTII' striped mother-in-laws tongue 8" POTS @ 12" O.C..



LOROPETALUM CHINENSE

'RAZZLEBERRY'

FICUS PUMILA creeping fig 1 GAL ŠTAKE GROWN



little ollie dwarf olive

5 GAL @ 18" O.C.

CERCIDIUM 'DESERT MUSEUM' desert museum palo verde 24" BOX MIN.



amazing red new zealand flax

5 GAL @ 18" O.C.

CERCIS CANADENSIS 'FOREST PANSY' forest pansy redbud

24" BOX MIN.



WESTRINGIA FRUTICOSA

'MORNING LIGHT'

coast rosemary 5 GAL @ 24" O.C.

OLEA EUROPAEA 24" BOX MIN.



FICUS MICROCARPA NITIDA

'GREEN GEM'

PODOCARPUS GRACILIOR fern podocarpus 24" BOX MIN.



PITTOSPORUM TENUIFOLIUM

'SILVER SHEEN'

silver sheen kohuhu

24" BOX @ 24" O.C.

PRUNUS CERASIFERA 'KRAUTER VESUVIUS' krauter vesuvius purple leaf plum 24" BOX MIN.

■ Issues & Revisions Date

ULMUS PARVIFOLIA chinese elm 24" BOX MIN.

PODOCARPUS GRACILIOR

fern podocarpus 24" BOX @ 24" O.C.

NOTE:

EXAMPLE PLANTING PALETTE, SPECIFIC PLANTS TO BE CONFIRMED.

■ Project Number: 19.120

■ Sheet Title

PLANT PALETTE

■ Sheet Number

 N SCALE: 1/8"=1'-0"